

Memorandum

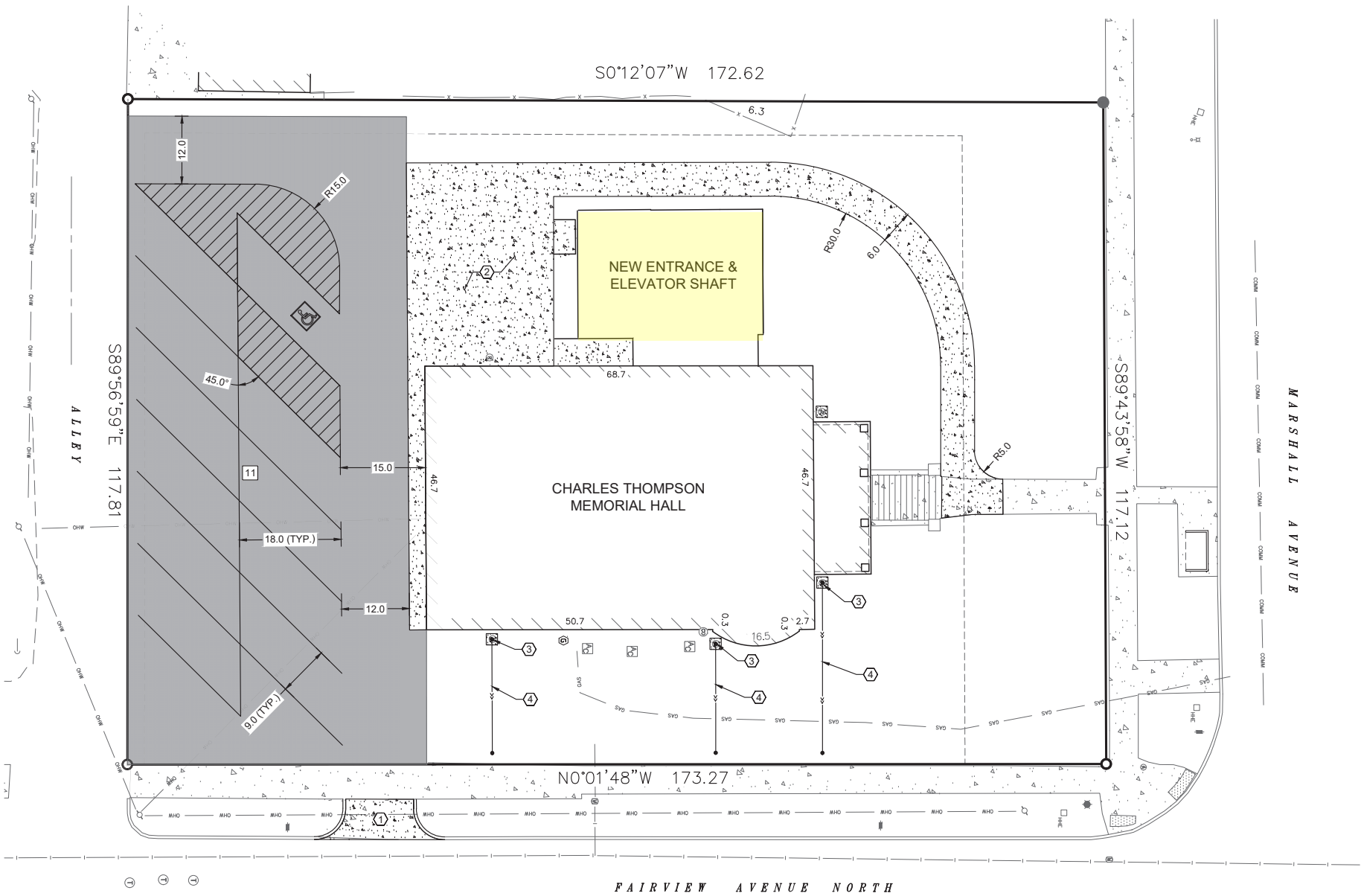
Date October 14, 2020
To MNHS Legacy Grant Review
From Charles Thompson Memorial Hall and MacDonald & Mack
Project Charles Thompson Memorial Hall Restoration and Elevator Addition
Regarding 30% Review

Please see the attached documents for the updated designs of the Charles Thompson Memorial Hall and Elevator Addition. Included are:

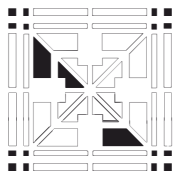
- 30% Presentation Documents presented to Charles Thompson Memorial Hall
- 30% Construction Drawings
- 30% Specification Outline
- 30% HVAC, Electrical, and Plumbing Scope Narrative

From the designs included in the HSR, these drawings are the next level of development for the work at the building. Changes include:

- Revised restroom drawings on the Lower Level and First Floor
- Updated restoration of the exterior of the Hall, including the North Porch
 - o Guardrails are added to the historic railing configuration because the current railings will be removed and as this exit serves as an egress, the higher railings will be required by code.
 - o Additional investigation of the areas of masonry repair were added to the drawings.
- Revised plan of the elevator addition.
 - o The plan is slightly larger to allow for a better connection to the existing building, a better use of space in the addition, and to provide additional storage and meeting space desperately needed in the building.
 - o The elevations are a bit more contemporary. This was the outcome of massing and window studies and to avoid a direct duplication of the historic configuration and details of the existing Hall. The details are simplified with grouped windows to keep with a similar, compatible scale.



1 SITE PLAN
SCALE: 1" = 10'



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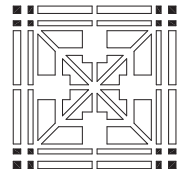
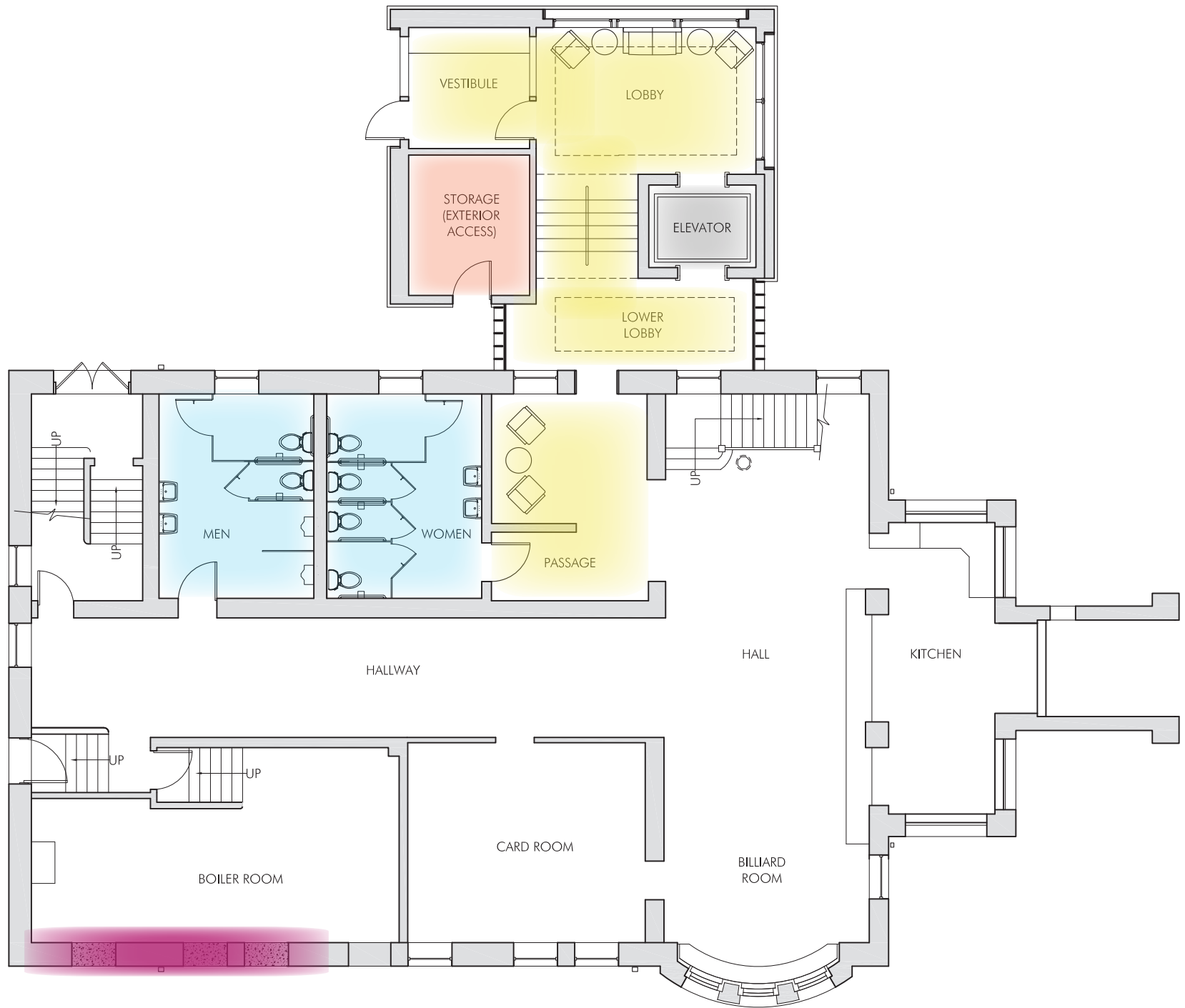
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1824 Marshal Avenue
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Site Plan

6



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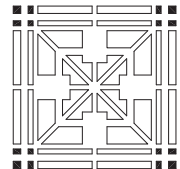
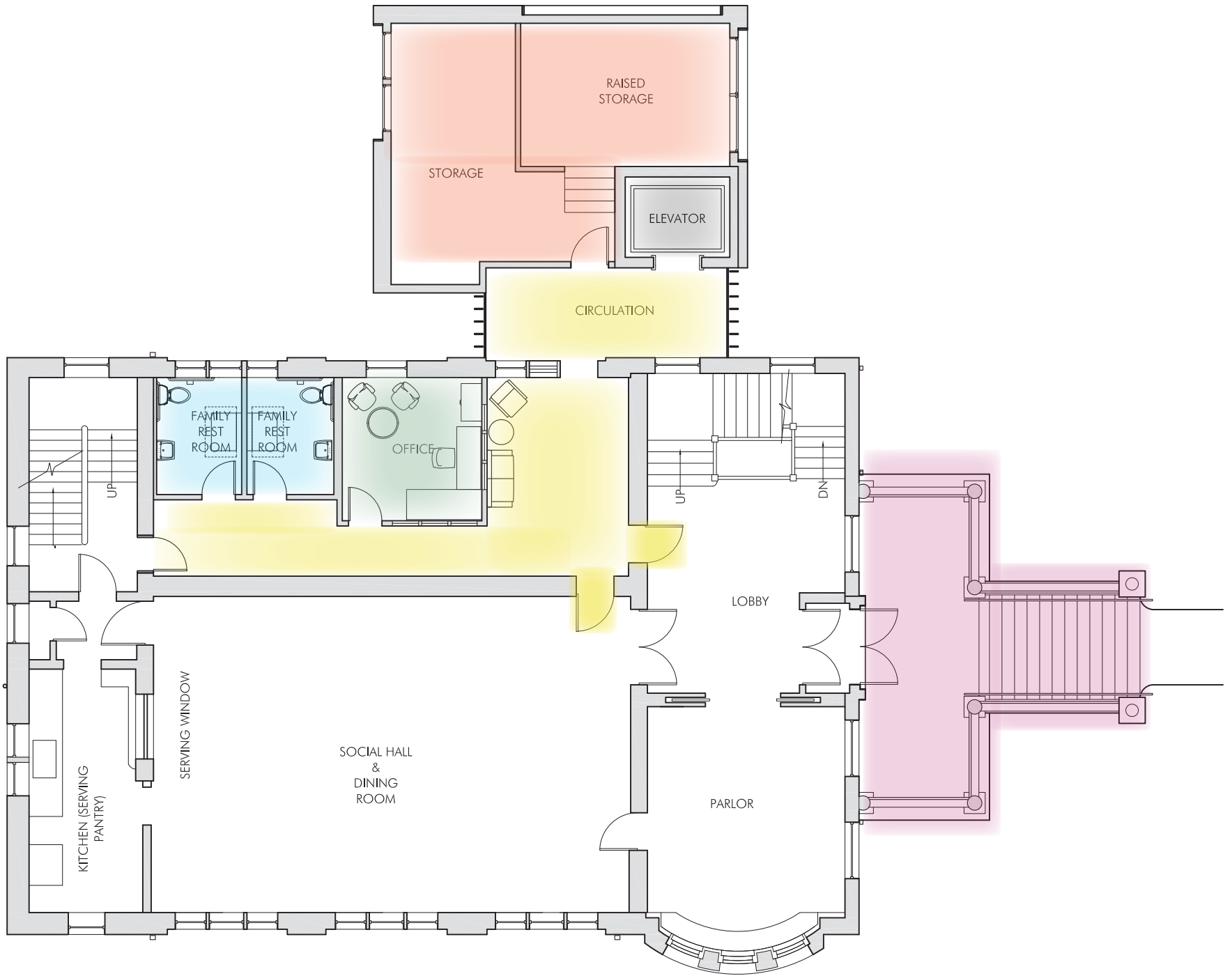
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Basement Plan

1



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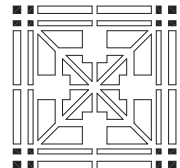
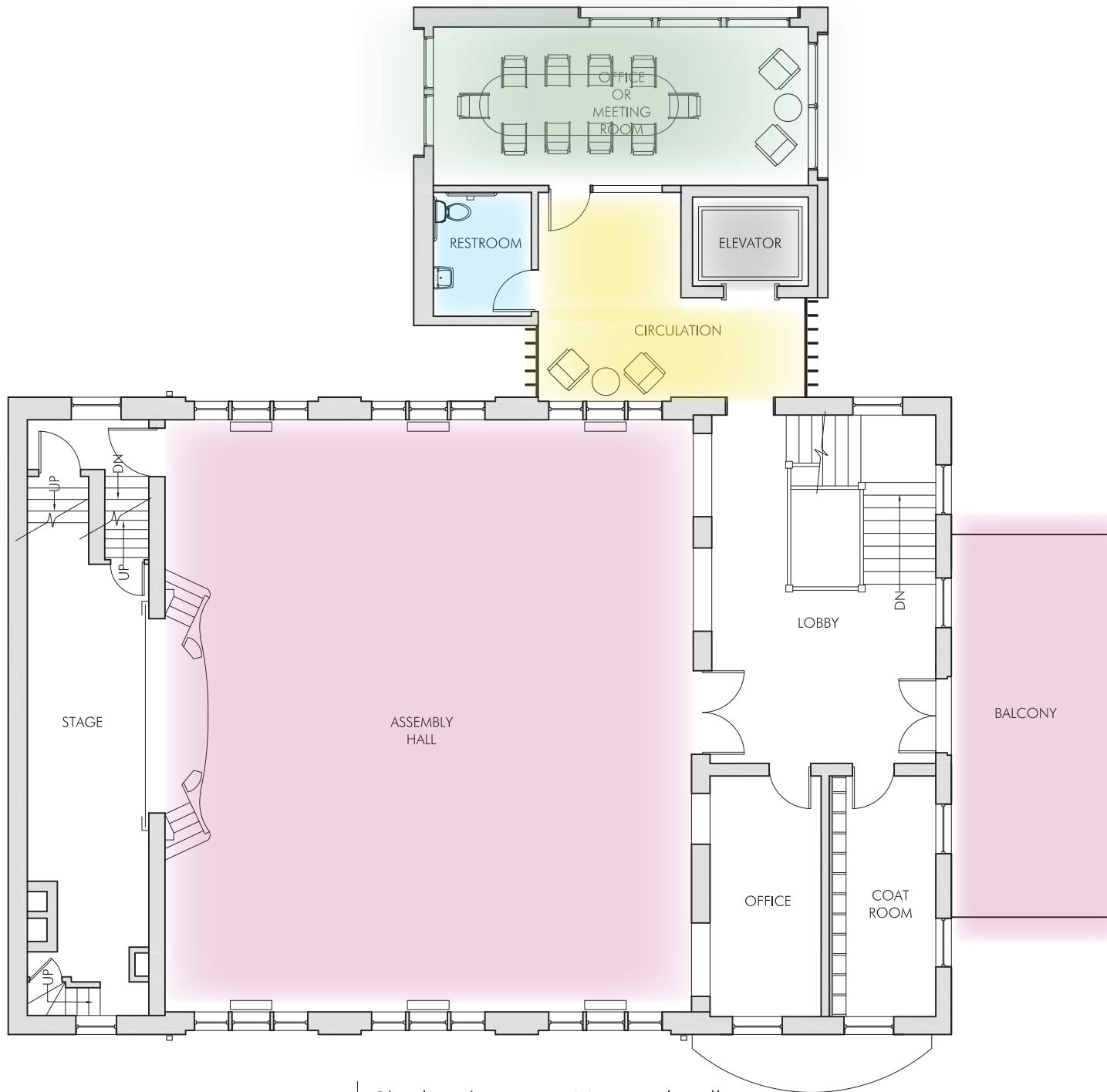
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First Floor Plan

2



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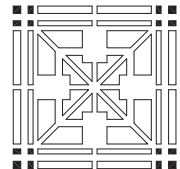
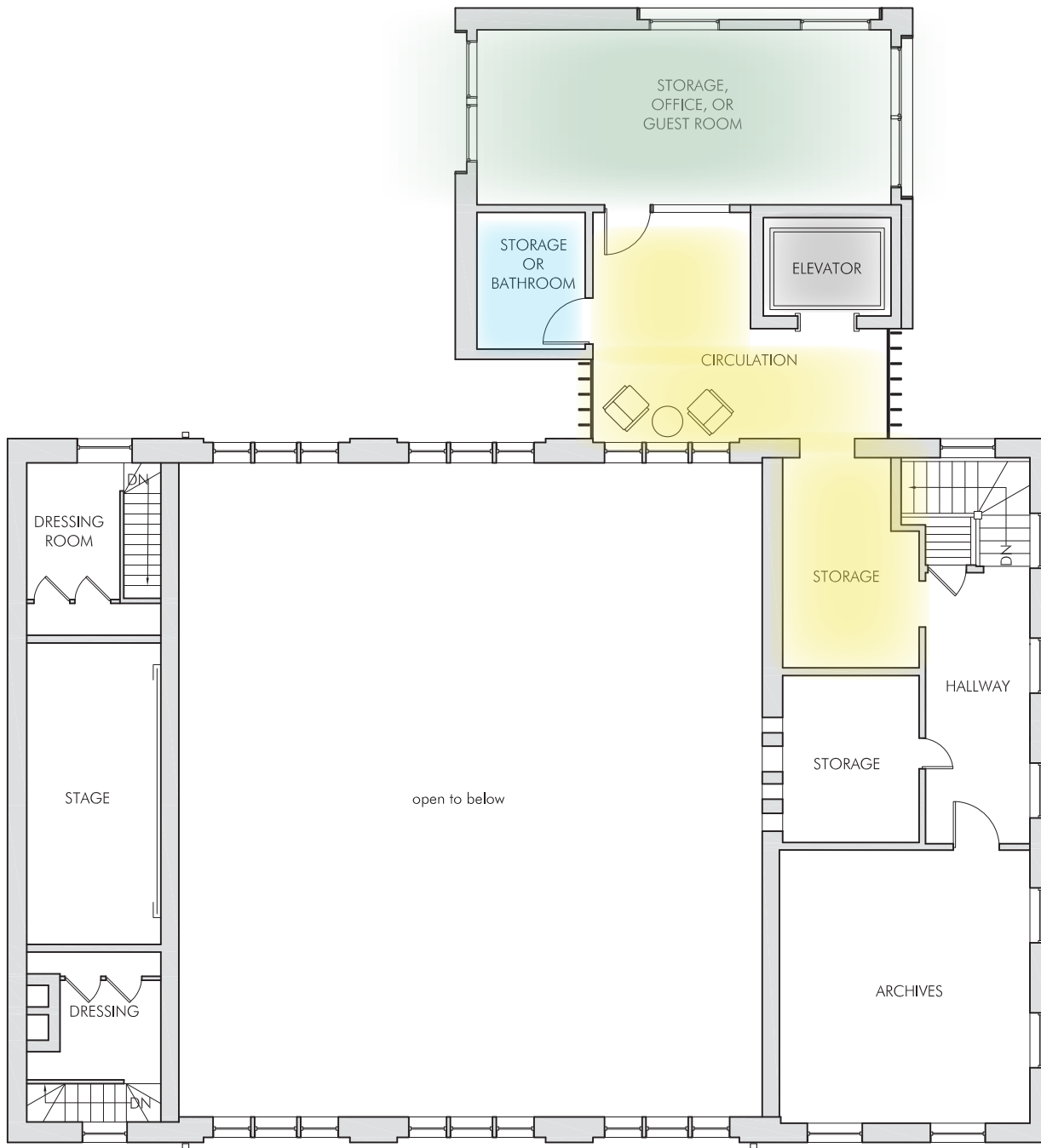
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Second Floor Plan

3



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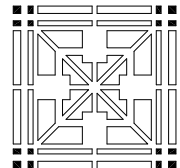
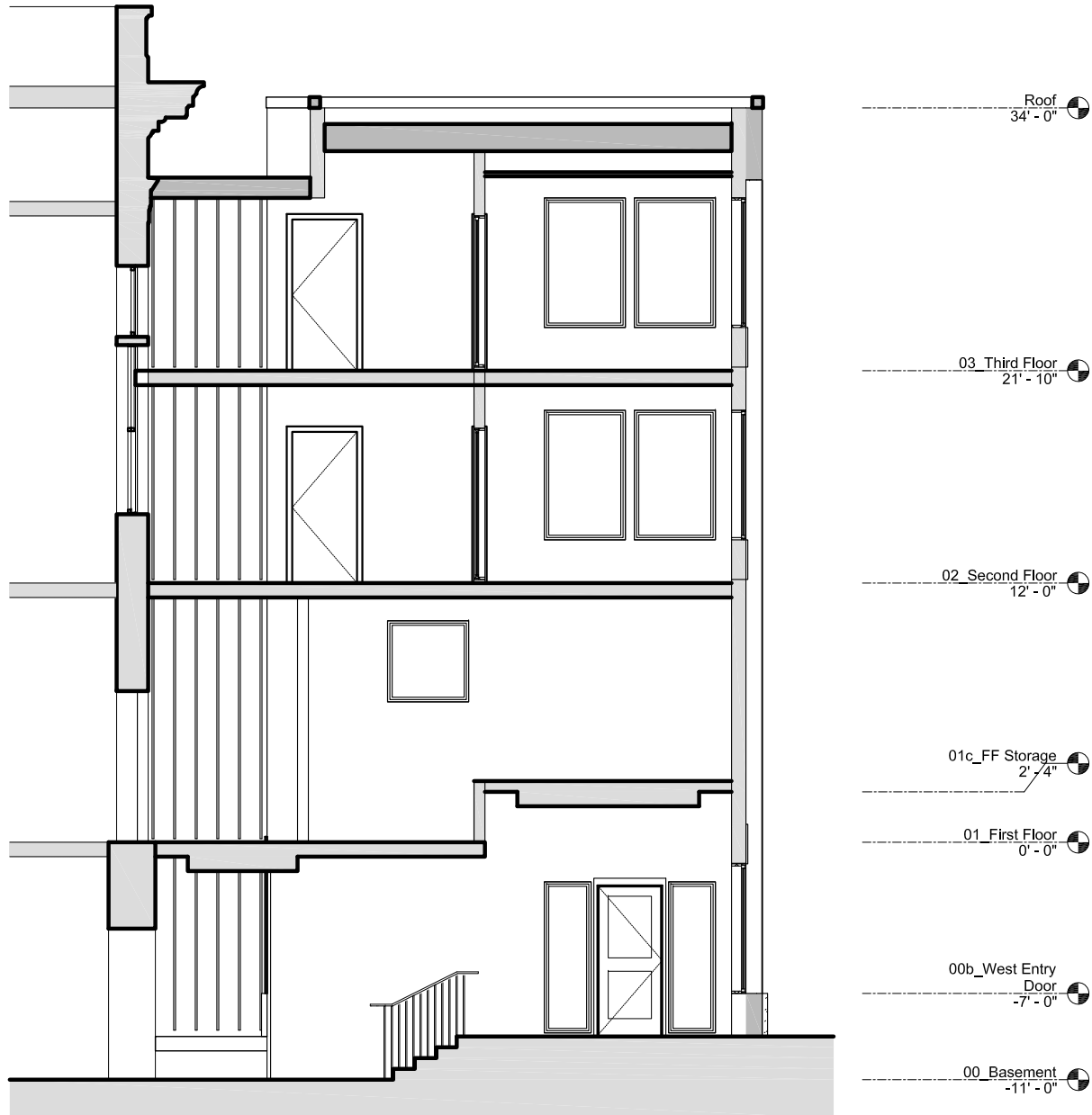
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Third Floor Plan

4



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Entry Section

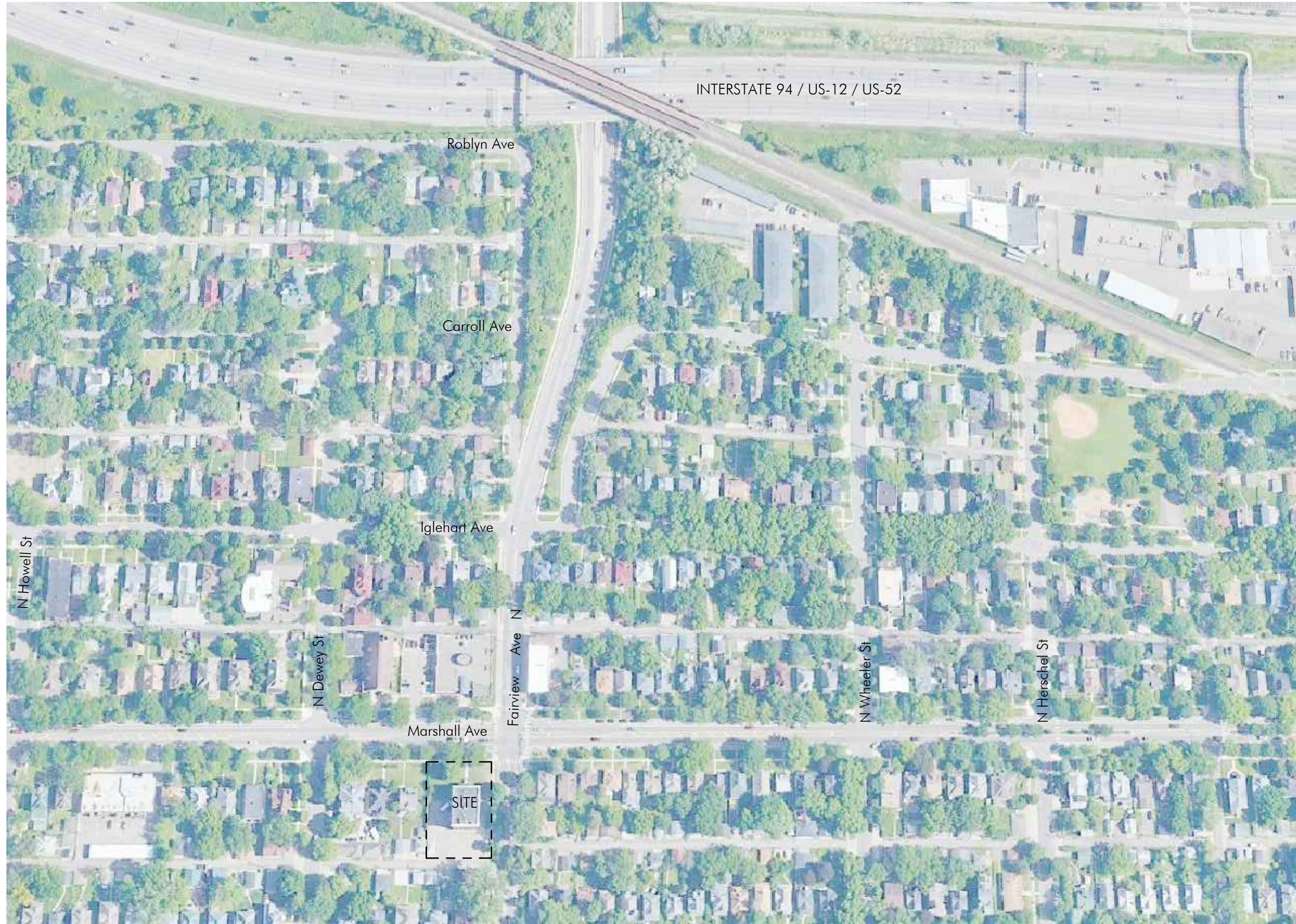
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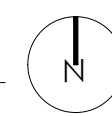
Charles Thompson Memorial Hall Rehabilitation, HVAC Upgrade, and Addition

1824 Marshall Avenue, Saint Paul, MN 55104



1 LOCATION MAP

G000 NO SCALE



GENERAL NOTES:

The building is to be fully protected from damage during the course of construction. All damaged areas and finishes resulting from this work are to be restored by the contractor to match existing construction.

The contractor shall verify all existing conditions and dimensions in the field before beginning work.

The contractor shall immediately report any discrepancies between drawings and existing conditions and dimensions to the architect for resolution.

Do not scale drawings.

Where "repair" or "in-fill" is indicated on the drawings, the repair or in-fill item is to match and blend with adjacent surfaces and features in all respects.

PROJECT CONTACTS:

Owner Representative
Herman Fuechtmann
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Saint Paul, MN 55104
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Architect of Record
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Gregg Hackett
Gregg Hackett Architect
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Hallberg Engineering
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Civil Engineering
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Anderson Engineering
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Apple Valley, MN 55124
T: 952.432.4443
F: 952.432.4449

DRAWING INDEX

Discipline	Sheet No.	Sheet Name
GENERAL	G000	COVER SHEET
CIVIL	C000	
LANDSCAPE	L000	
ARCHITECTURE	A001	LIFE SAFETY PLAN
ARCHITECTURE	A002	NOTES
ARCHITECTURE	A050	DEMOLITION SITE PLAN
ARCHITECTURE	A100	LOWER LEVEL DEMOLITION PLAN
ARCHITECTURE	A101	FIRST FLOOR DEMOLITION PLAN
ARCHITECTURE	A102	SECOND FLOOR DEMOLITION PLAN
ARCHITECTURE	A103	THIRD FLOOR DEMOLITION PLAN
ARCHITECTURE	A104	ROOF DEMOLITION PLAN
ARCHITECTURE	A105	RCP LOWER LEVEL DEMOLITION
ARCHITECTURE	A106	RCP FIRST FLOOR DEMOLITION
ARCHITECTURE	A107	RCP SECOND FLOOR DEMOLITION
ARCHITECTURE	A108	RCP THIRD FLOOR DEMOLITION
ARCHITECTURE	A200	LOWER LEVEL CONSTRUCTION PLAN
ARCHITECTURE	A201	FIRST FLOOR CONSTRUCTION PLAN
ARCHITECTURE	A202	SECOND FLOOR CONSTRUCTION PLAN
ARCHITECTURE	A203	THIRD FLOOR CONSTRUCTION PLAN
ARCHITECTURE	A204	ROOF CONSTRUCTION PLAN
ARCHITECTURE	A205	LOWER LEVEL RCP
ARCHITECTURE	A206	FIRST FLOOR RCP
ARCHITECTURE	A207	SECOND FLOOR RCP
ARCHITECTURE	A208	THIRD FLOOR RCP
ARCHITECTURE	A300	NORTH DEMOLITION ELEVATION
ARCHITECTURE	A301	EAST DEMOLITION ELEVATION
ARCHITECTURE	A302	SOUTH DEMOLITION ELEVATION
ARCHITECTURE	A303	WEST DEMOLITION ELEVATION
ARCHITECTURE	A304	NORTH CONSTRUCTION ELEVATION
ARCHITECTURE	A305	EAST CONSTRUCTION ELEVATION
ARCHITECTURE	A306	SOUTH CONSTRUCTION ELEVATION
ARCHITECTURE	A307	WEST CONSTRUCTION ELEVATION
ARCHITECTURE	A320	BUILDING SECTIONS
ARCHITECTURE	A400	INTERIOR ELEVATIONS
ARCHITECTURE	A401	INTERIOR ELEVATIONS
ARCHITECTURE	A402	INTERIOR ELEVATIONS
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ARCHITECTURE	A430	SIGNAGE PLANS AND SCHEDULE
ARCHITECTURE	A440	STAIR SECTIONS AND DETAILS
ARCHITECTURE	A500	WALL SECTIONS AND DETAILS
ARCHITECTURE	A501	WALL SECTIONS AND DETAILS
ARCHITECTURE	A502	WALL SECTIONS AND DETAILS
ARCHITECTURE	A503	PORCH DETAILS
ARCHITECTURE	A504	ROOF AND EXTERIOR REPAIR DETAILS
ARCHITECTURE	A505	WINDOW AND DOOR DETAILS
ARCHITECTURE	A506	GENERAL DETAILS
ARCHITECTURE	A600	WALL TYPES
ARCHITECTURE	A601	SCHEDULES
ARCHITECTURE	A602	SCHEDULES
STRUCTURAL		
PLUMBING		
MECHANICAL		
ELECTRICAL		

OCCUPANCY GROUPS/LOADING SUMMARY FOR LOWER LEVEL			
A-2 Addition Lobby	121.8sf	50/sf	3
A-2 Lower Level Social Hall	1103.5sf	15/sf	74
A-2 Kitchen (Serving)	180sf	60/sf	3
A-2 Card Room	282sf	15/sf	19
Boiler Room	358sf	300/sf	2
	Total		101

OCCUPANCY GROUPS/LOADING SUMMARY FOR SECOND FLOOR

- APPLICABLE CODES
- 2020 Minnesota State Building Code
 - 2020 Minnesota Conservation Code for Existing Buildings
 - 2020 Minnesota Accessibility Code
 - 2020 Minnesota Energy Code
 - 2020 Minnesota Fire Code
 - 2017 National Electrical Code (NFPA 70-2017)
 - Minnesota Electrical Code
 - 2020 Minnesota Mechanical and Fuel Gas Code (2012 International Mechanical Code with MN Amendments)
 - 2015 Minnesota Plumbing Code
 - NFPA 13 Installation of Fire Sprinklers
 - City of Saint Paul Zoning Code
 - Heritage Preservation Commission Regulations of the City of Saint Paul

BUILDING INFORMATION:
 4 Stories: Lower Level, First Floor, Second Floor, and Third Floor, Main Entrance on First Floor
 Existing Parking Lot to be Reconfigured
 Third Floor: GSF
 Second Floor: GSF
 First Floor: GSF
 Lower Level: GSF

TYPE OF CONSTRUCTION:
 Type III-B; Not Sprinkled
 Proposed construction will be fully sprinkled

PLUMBING FIXTURES:

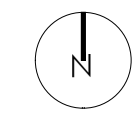
EGRESS REQUIREMENTS:



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of Minnesota.
 Todd Grover #40314

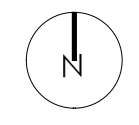
1 LOWER LEVEL LIFE SAFETY PLAN
 A001 1/8" = 1'-0"

OCCUPANCY GROUPS/LOADING SUMMARY FOR FIRST FLOOR			
Office			
Addition Lobby			
Billiard Room			

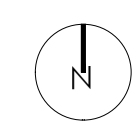


3 SECOND FLOOR LIFE SAFETY PLAN
 A001 1/8" = 1'-0"

OCCUPANCY GROUPS/LOADING SUMMARY FOR THIRD FLOOR

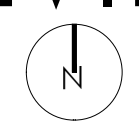


2 FIRST FLOOR LIFE SAFETY PLAN
 A001 1/8" = 1'-0"



4 THIRD FLOOR LIFE SAFETY PLAN
 A001 1/8" = 1'-0"

30% REVIEW SET



Charles Thompson Memorial Hall
 Rehabilitation, HVAC Upgrade, and Addition
 1824 Marshall Avenue, Saint Paul, MN 55104

LIFE SAFETY
 PLAN

A001

DRAWN SLTG DATE 07.01.2020 REVISION

30% REVIEW SET

A002

NOTES

Charles Thompson Memorial Hall
Rehabilitation, HVAC Upgrade, and Addition

1824 Marshall Avenue, Saint Paul, MN 55104

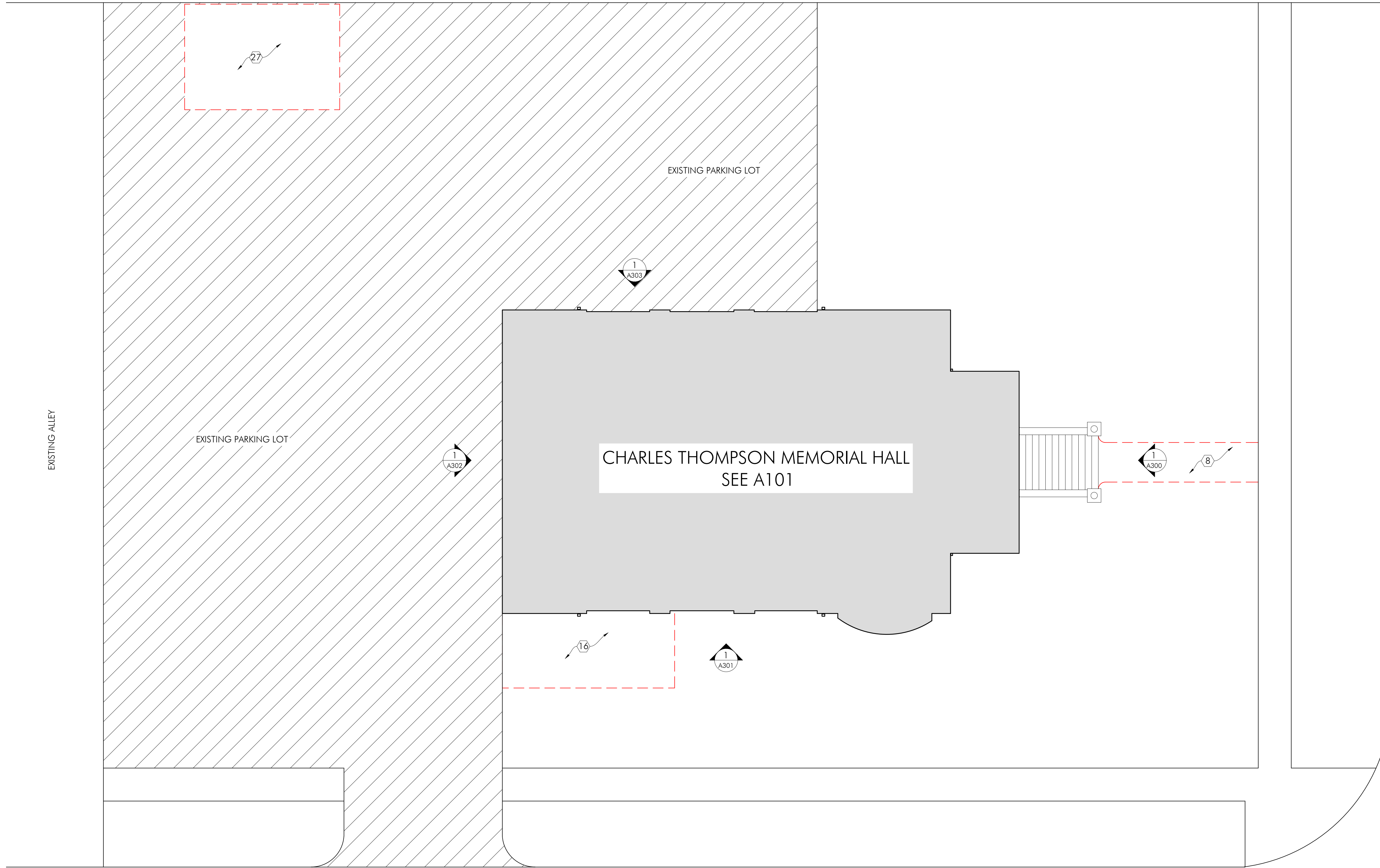
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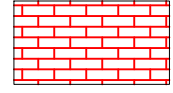
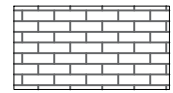
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Todd Grover #40314



- ### REMOVAL NOTES
- 1 REMOVE AND SALVAGE LIGHT POSTS.
 - 2 REMOVE PORCH RAILINGS AND STAIR HANDRAILS.
 - 3 REMOVE AND SALVAGE STONE STEPS.
 - 4 REMOVE QUARRY TILES, SALVAGE WHERE POSSIBLE.
 - 5 REMOVE MESH SCREEN AND SALVAGE FRAME.
 - 6 DISMANTLE PIERS, INCLUDING CONCRETE BASES. SALVAGE BRICK.
 - 7 DISMANTLE STAIR WALLS. SALVAGE BRICK AND DISPOSE OF CAST STONE CAPS. CONCRETE FOUNDATION AND BASE TO REMAIN.
 - 8 DEMOLISH SIDEWALK (CITY SIDEWALK TO REMAIN).
 - 9 REMOVE BRICK INFILL IN PORCH OPENINGS AND DEMOLISH CONCRETE INFILL. TAKE CARE NOT TO DAMAGE ORIGINAL SURROUNDING MASONRY AND CONCRETE.
 - 10 DEMOLISH WALL AND NOTIFY ARCHITECT. ARCHITECT TO INSPECT AREA BENEATH STAIRS BEFORE INFILLED.
 - 11 INSTALL TEMPORARY SHORING AT PORCH ROOF AND DEMOLISH COLUMNS. SALVAGE CAST STONE BASES FOR REINSTALLATION.
 - 12 REMOVE CAST STONE AT PORCH EDGE. REMOVE AND SALVAGE STONE BENEATH FOR REINSTALLATION.
 - 13 SALVAGE DOOR FOR REINSTALLATION.
 - 14 REMOVE ALL EXISTING TOILET ROOM PARTITIONS AND STALL DOORS.
 - 15 REMOVE TOILET ROOM FIXTURES.
 - 16 REMOVE WALLS AND CONCRETE AT GRADE. SEE STRUCTURAL DRAWINGS FOR EXTENT BELOW GRADE.
 - 17 REMOVE METAL BARS FROM WINDOWS.
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 - 20 REMOVE WALL.
 - 21 REMOVE DOOR.
 - 22 REMOVE RADIATOR.
 - 23 REMOVE KITCHEN APPLIANCES AND SINK.
 - 24 REMOVE COUNTERTOPS.
 - 25 REMOVE CEILING TILES.
 - 26 REMOVE LIGHT FIXTURE.
 - 27 DEMOLISH GARAGE.

REMOVAL KEY

	DEMOLISH MASONRY, SALVAGE AS NOTED
	REMOVE/DISMANTLE
	DEMOLISH MASONRY, SALVAGE AS NOTED
	BRICK MASONRY TO REMAIN (10% REPOINTING, TYPICAL)

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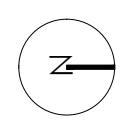
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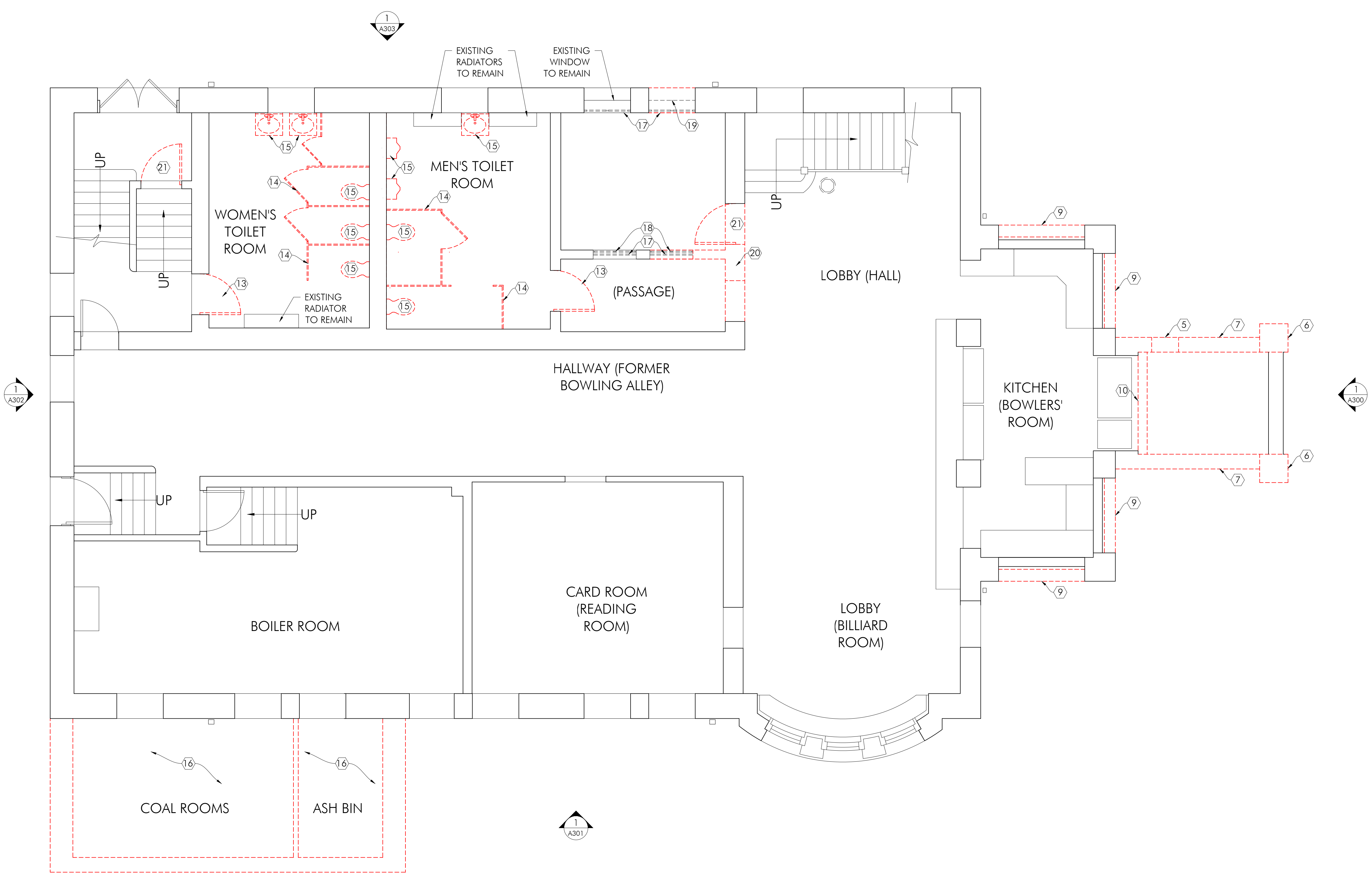
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DEMOLITION
SITE PLAN



REMOVAL NOTES

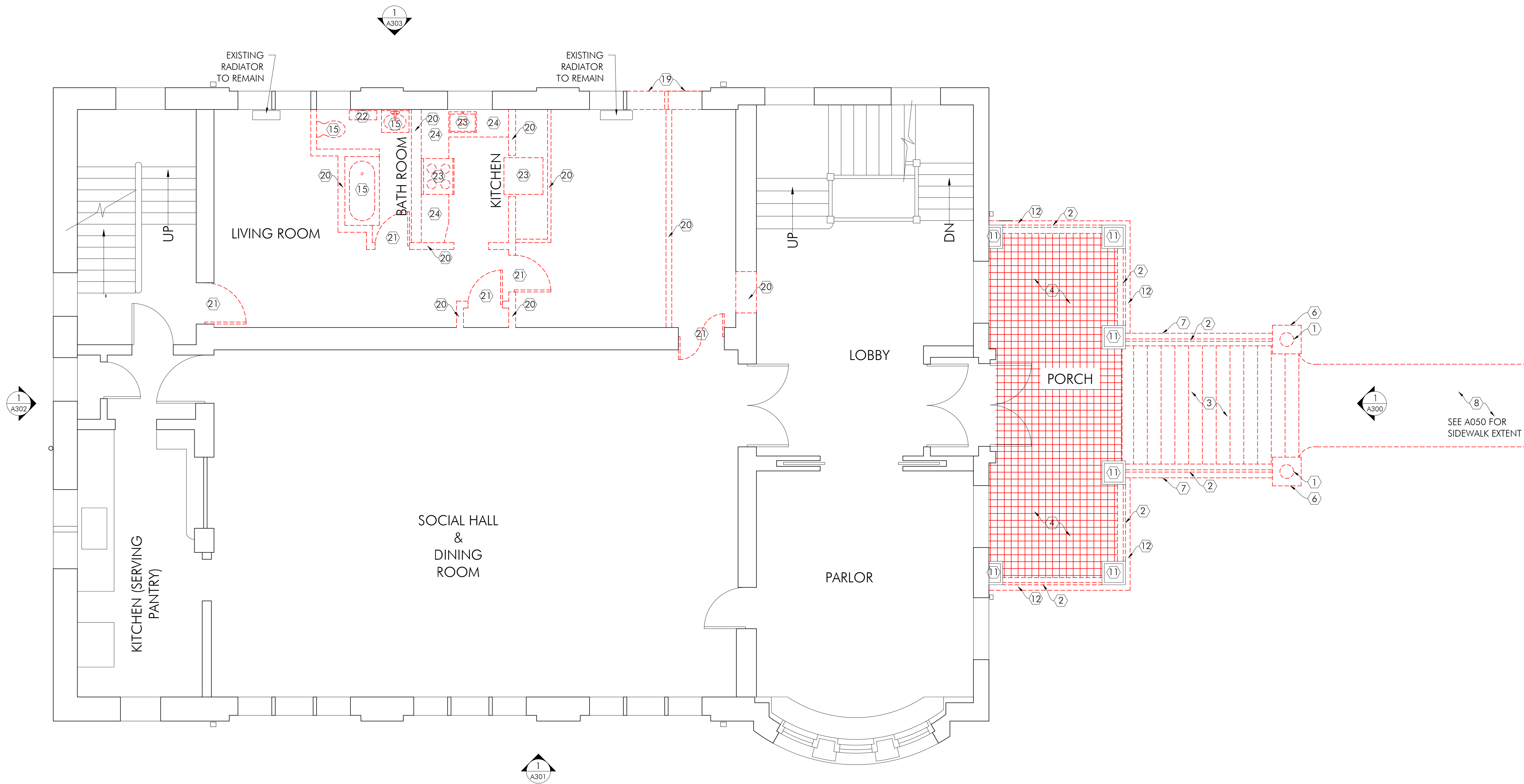
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1 LOWER LEVEL DEMOLITION PLAN
 A100 1/4" = 1'-0"

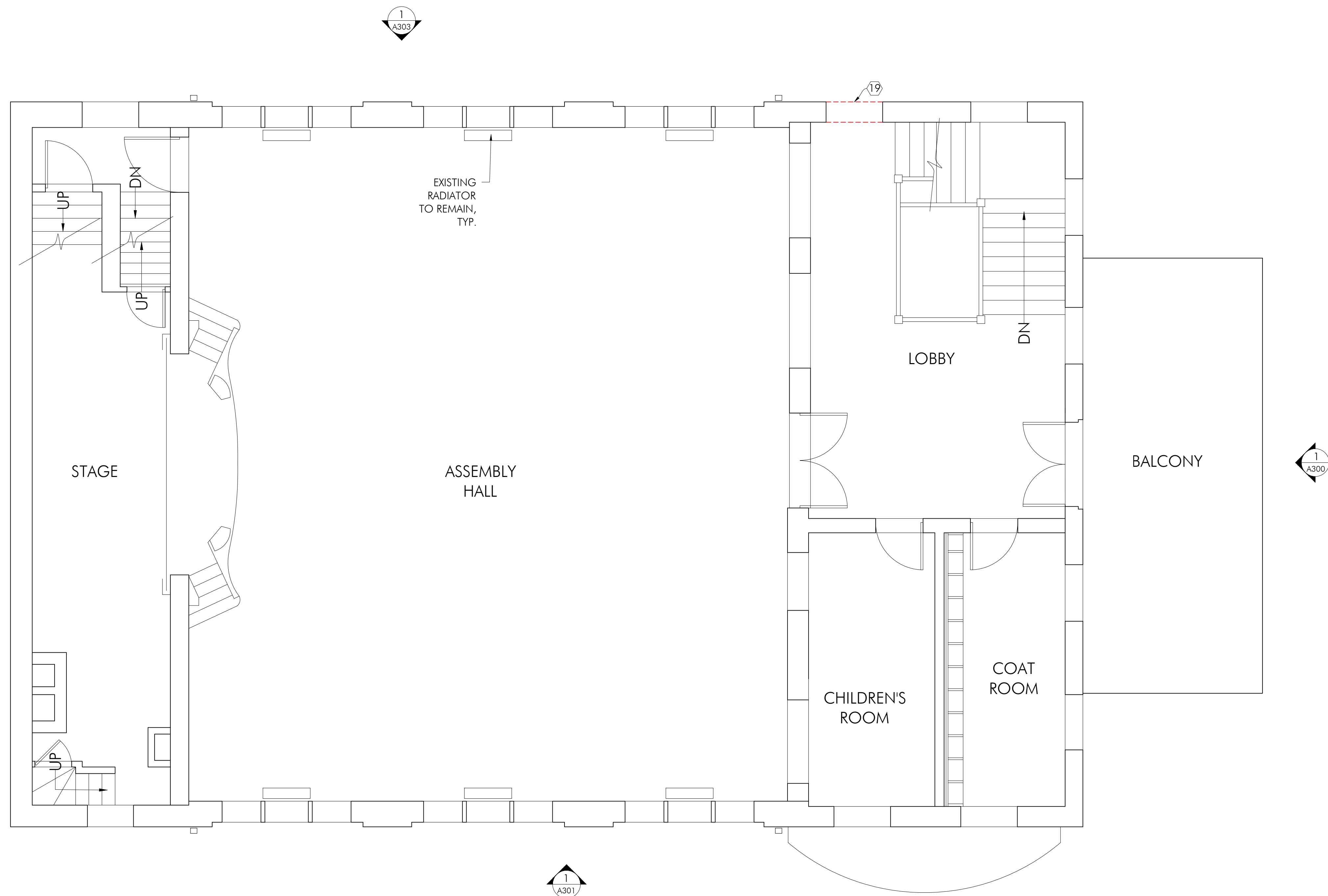
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 - ⑮ REMOVE TOILET ROOM FIXTURES.
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 - ⑱ REMOVE WINDOW INFILL PANELS.
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 - ㉔ REMOVE COUNTERTOPS.
 - ㉕ REMOVE CEILING TILES.
 - ㉖ REMOVE LIGHT FIXTURE.
 - ㉗ DEMOLISH GARAGE.

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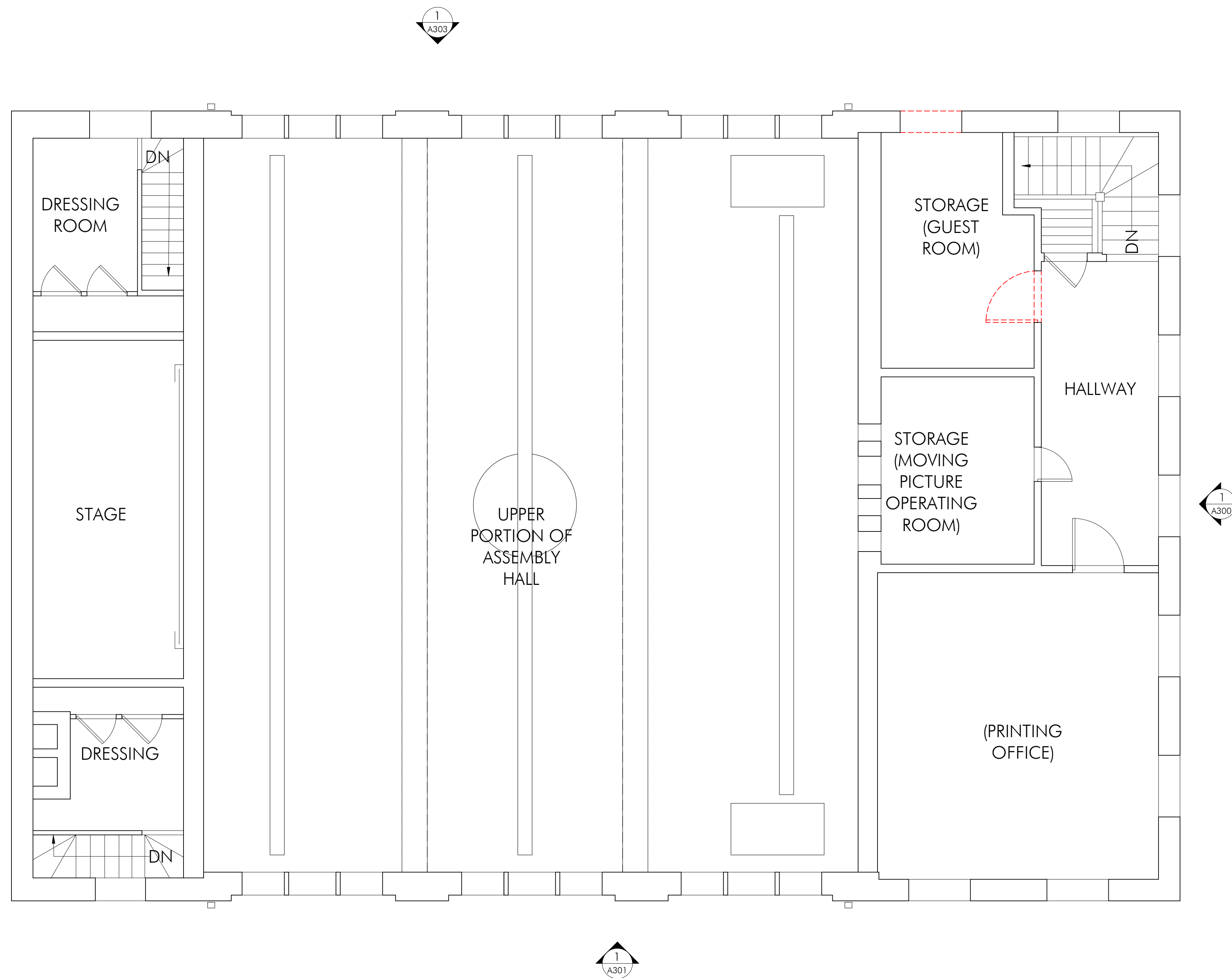
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Todd Grover #40314

Charles Thompson Memorial Hall
 Rehabilitation, HVAC Upgrade, and Addition
 1824 Marshall Avenue, Saint Paul, MN 55104

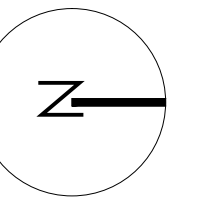
SECOND FLOOR
 DEMOLITION
 PLAN

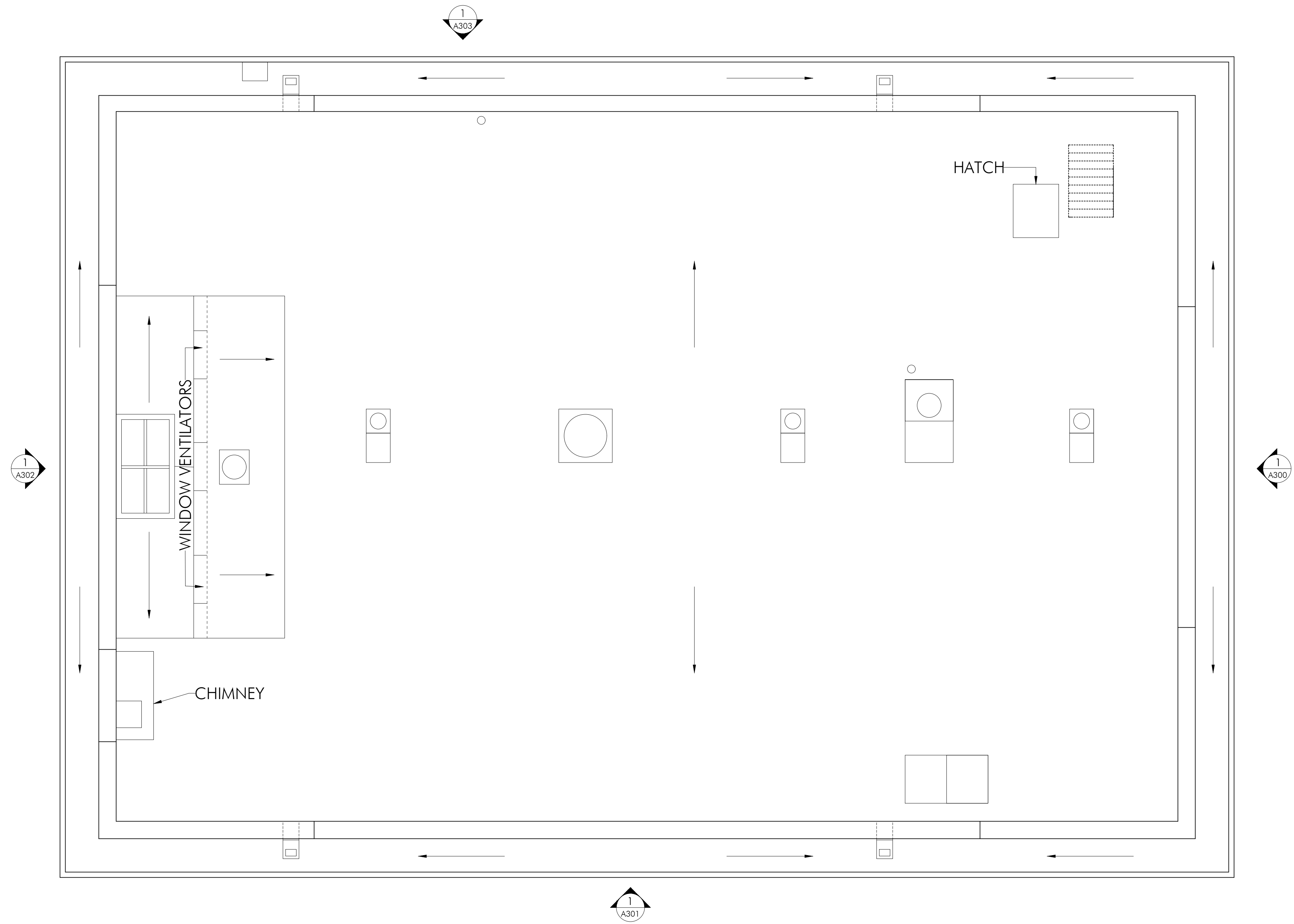
30% REVIEW SET **A102**



REMOVAL NOTES

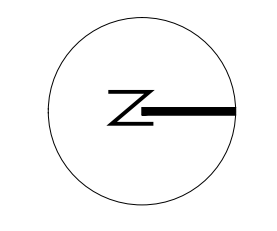
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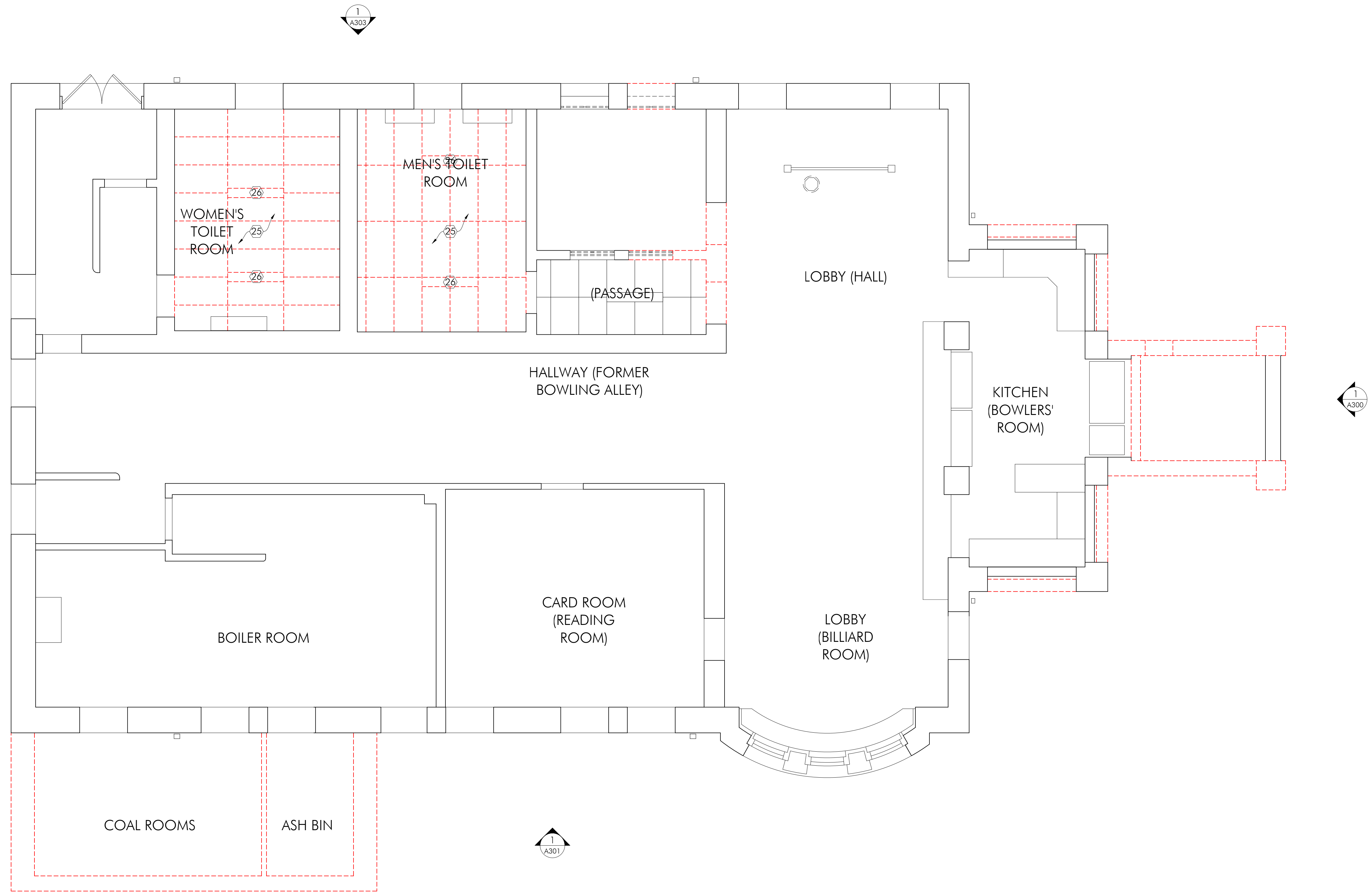


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DRAWN SL:IG DATE 07.01.2020 REVISION

ROOF
 DEMOLITION
 PLAN

30% REVIEW SET **A104**



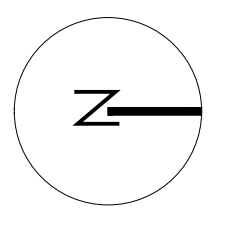
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Todd Grover #40314



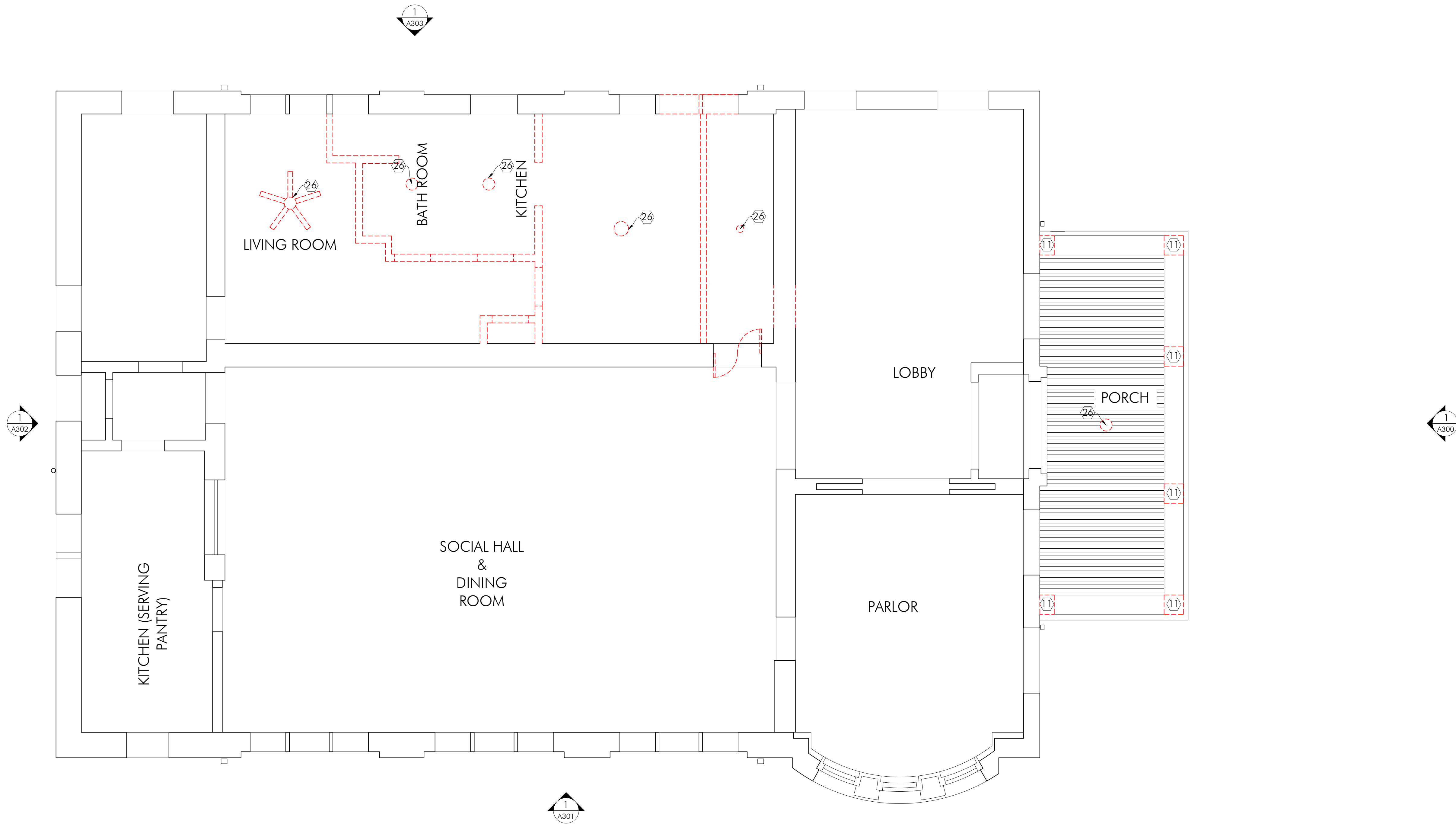
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DRAWN SL:IG DATE 07.01.2020 REVISION

RCP LOWER LEVEL
 DEMOLITION

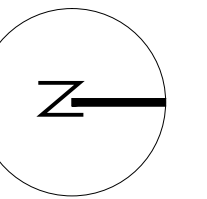
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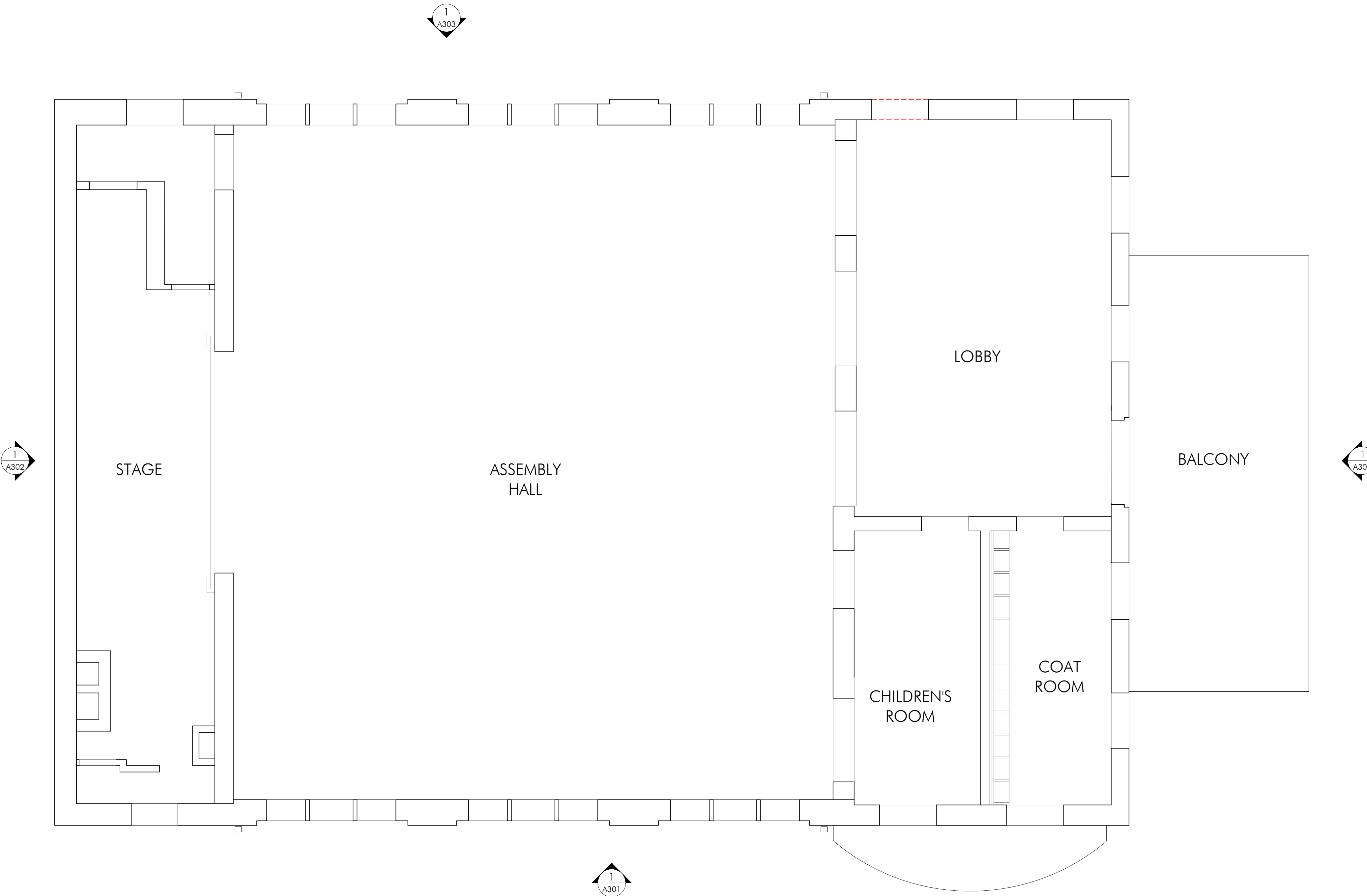
A105



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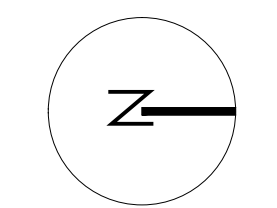
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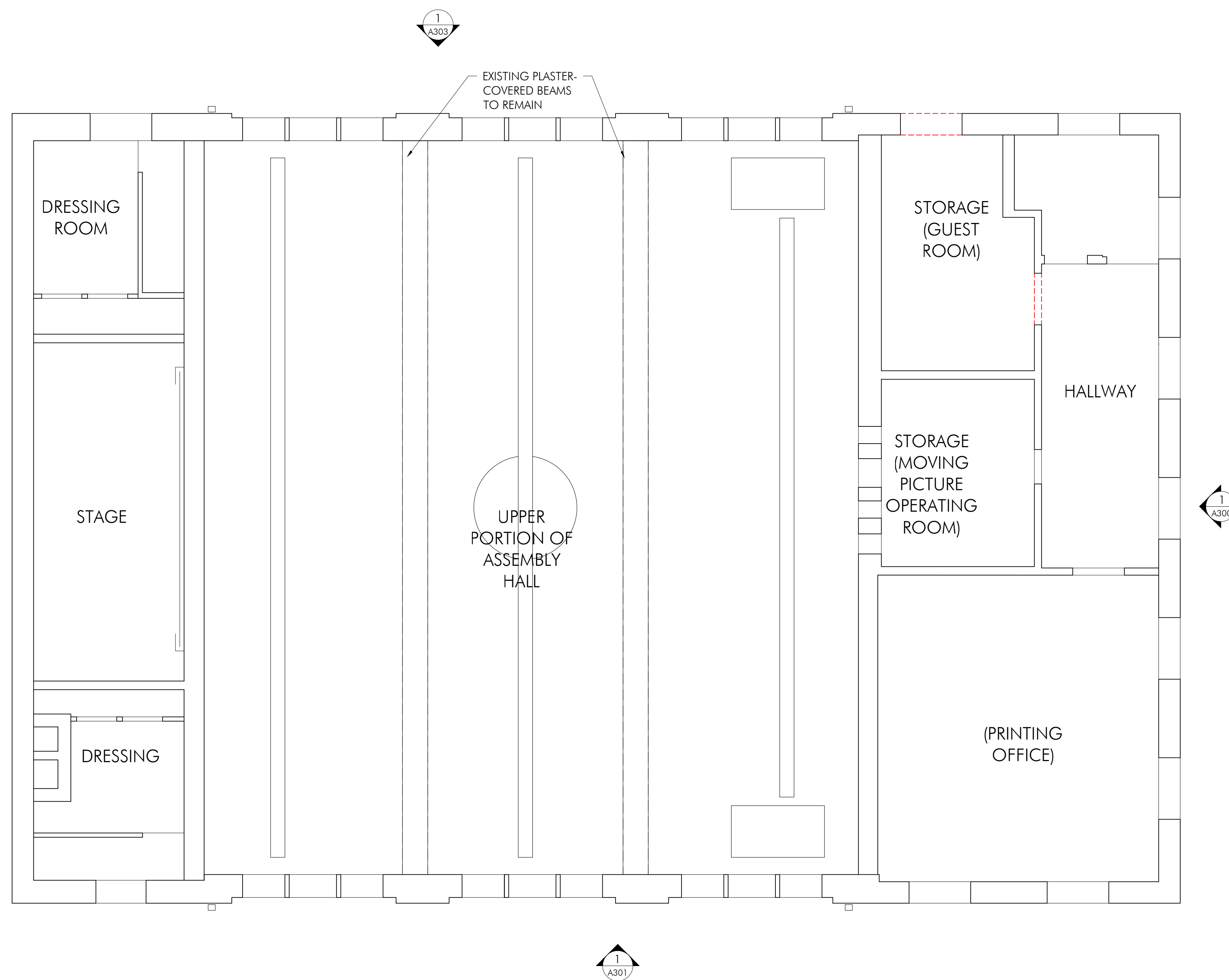
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DRAWN SL: TG DATE 07.01.2020 REVISION

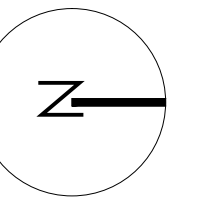
RCP SECOND FLOOR DEMOLITION

30% REVIEW SET A107



REMOVAL NOTES

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SHEET NOTES

ASSUME 10% REPOINTING OF ENTIRE BRICK FACADE UNLESS OTHER WORK IS NOTED.

CONSTRUCTION NOTES

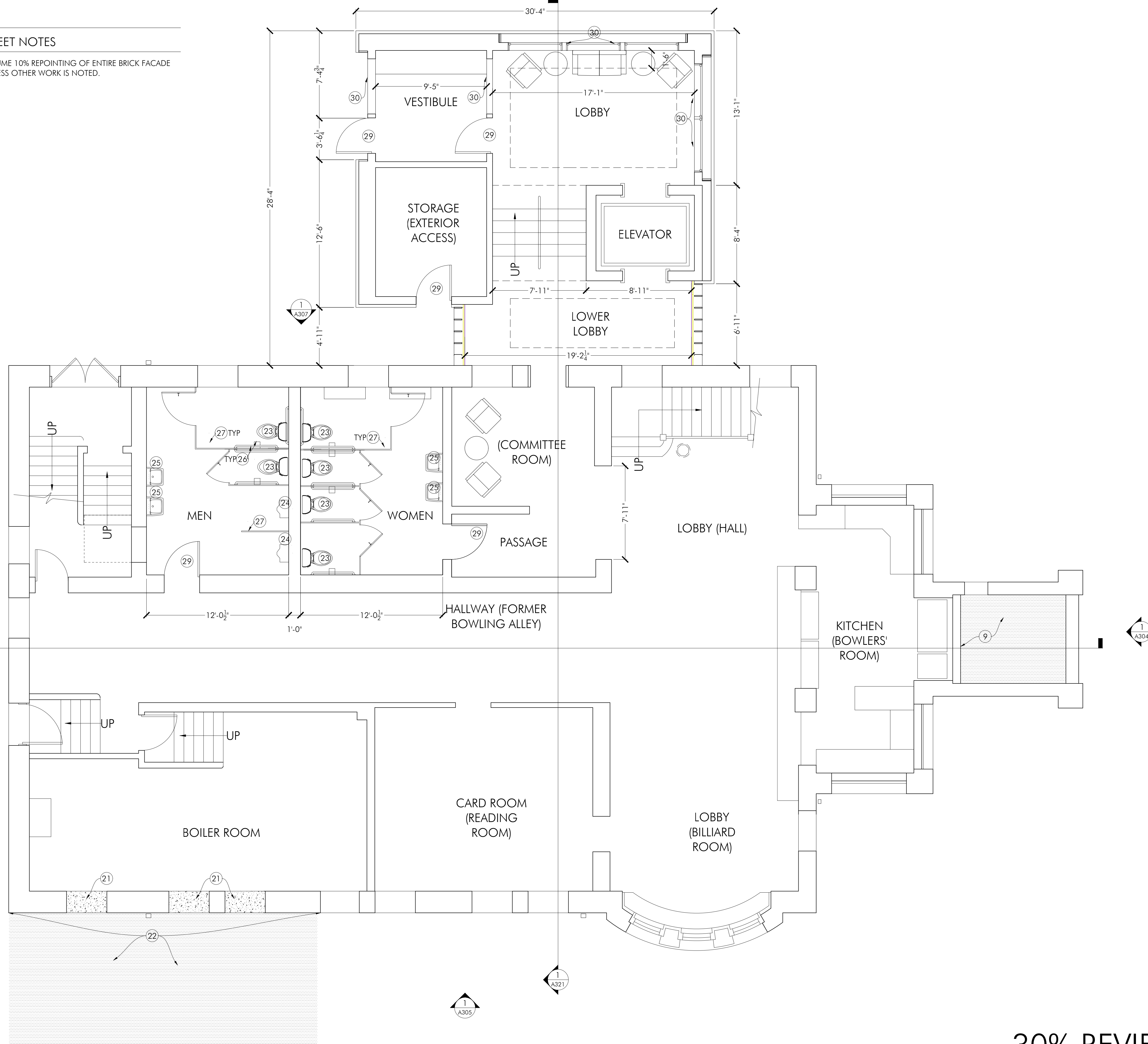
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- 7 RECONSTRUCT CONCRETE WALK.
- 8 INSTALL FLEXIBLE JOINT.
- 9 CONSTRUCT NEW WALL AND INFILL AREA BENEATH STAIRS. SEE STRUCTURAL.
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- 13 REPAIR WOOD ENTABLATURE, INCLUDING CORNICE, INSIDE OF FRIEZE, AND ARCHITRAVE, WITH CONSOLIDANT. PAINT.
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- 15 CLEAN CAST STONE AROUND DOOR AND THRESHOLD.
- 16 REPAIR DOORS AND PAINT, INCLUDING WOOD TRIM. SEE DOOR SCHEDULE ON A601 FOR HARDWARE.
- 17 INSTALL PERMANENT DOOR STOP.
- 18 INSTALL LIGHT. SEE SCHEDULE.
- 19 RESTORE AND REINSTALL LAMPS. PAINT METAL AND PROVIDE NEW GLOBES.
- 20 REGRADE DISTURBED AREA AROUND BOTTOM OF STAIRS AND PIERS, REPLACE SOD.
- 21 INFILL OPENINGS WITH CONCRETE MASONRY UNITS.
- 22 WATERPROOF EXTERIOR OF BUILDING BELOW GRADE AND INFILL WHERE CONCRETE WAS REMOVED. SEE STRUCTURAL FOR EXTENT AND FILL REQUIREMENTS. SEE CIVIL FOR REGRADING.
- 23 TOILET FIXTURE. SEE SCHEDULE.
- 24 URINAL. SEE SCHEDULE.
- 25 SINK AND FAUCET. SEE SCHEDULE.
- 26 TOILET ROOM EQUIPMENT. SEE ELEVATIONS AND SCHEDULE.
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- 29 DOOR. SEE SCHEDULE.
- 30 WINDOW. SEE SCHEDULE.
- 31 REINSTALL SALVAGED QUARRY TILE AND INSTALL NEW TILE WHERE NECESSARY.
- 32 PAINT METAL CORNICE AND PARAPET CAP.
- 33 REPAIR DAMAGE TO CONCRETE FROM PIPES AND CONDUIT. SEAL OPENING IN MASONRY AROUND PIPES.
- 34 PAINT WOOD TRIM AND CORNICE OF BOW WINDOW EXTERIOR.
- 35 PAINT WOOD ON EXTERIOR SIDE OF EXISTING WINDOW/DOOR.
- 36 REPAIR WOOD AT BOTTOM OF CORNICE.
- 37 MODIFY THRESHOLD AND SEAL JOINTS.

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LOWER LEVEL
 CONSTRUCTION
 PLAN

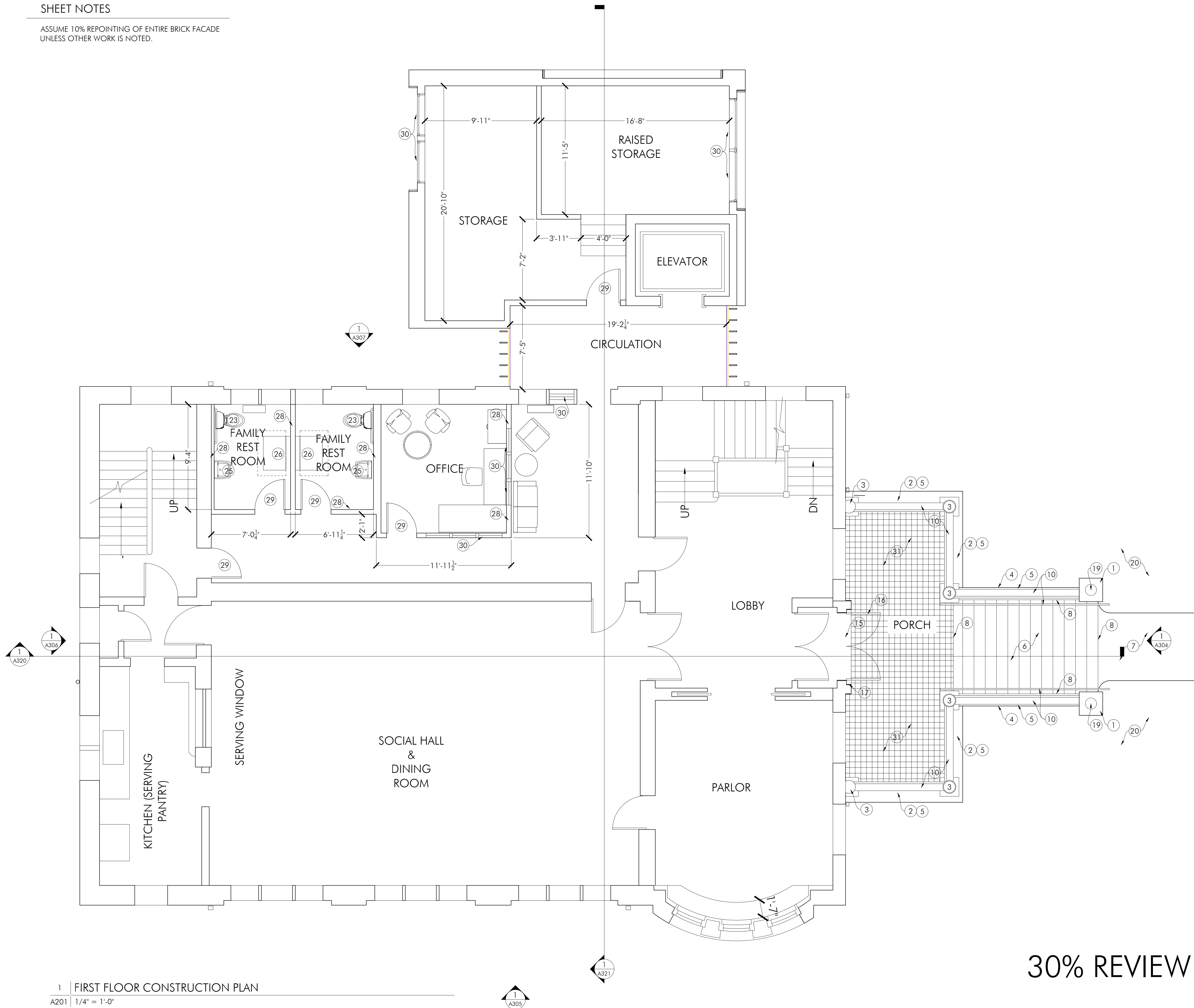
A200



30% REVIEW SET

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- 36 REPAIR WOOD AT BOTTOM OF CORNICE.
- 37 MODIFY THRESHOLD AND SEAL JOINTS.

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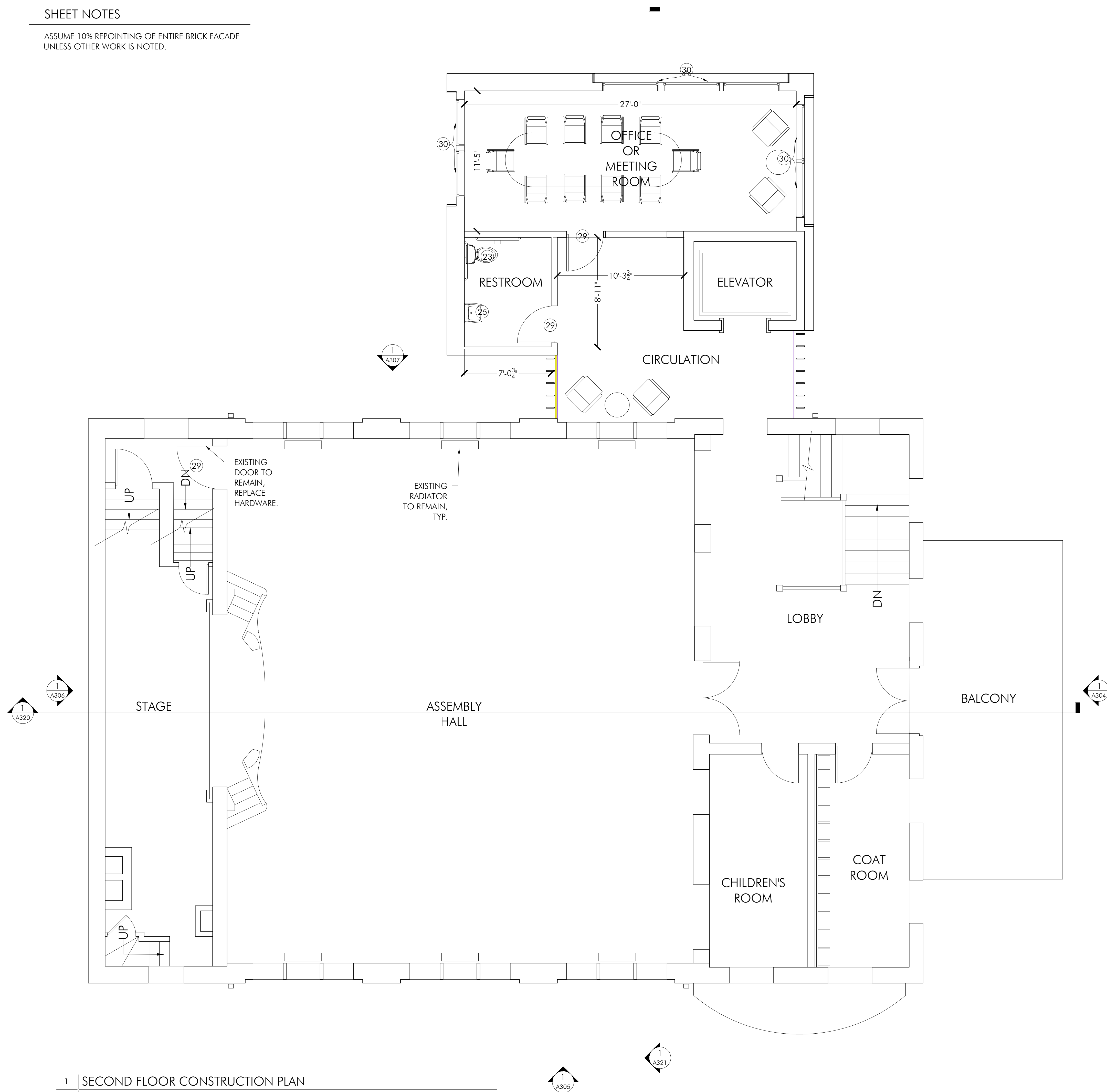
FIRST FLOOR
 CONSTRUCTION
 PLAN

A201

30% REVIEW SET

SHEET NOTES

ASSUME 10% REPOINTING OF ENTIRE BRICK FACADE UNLESS OTHER WORK IS NOTED.



CONSTRUCTION NOTES

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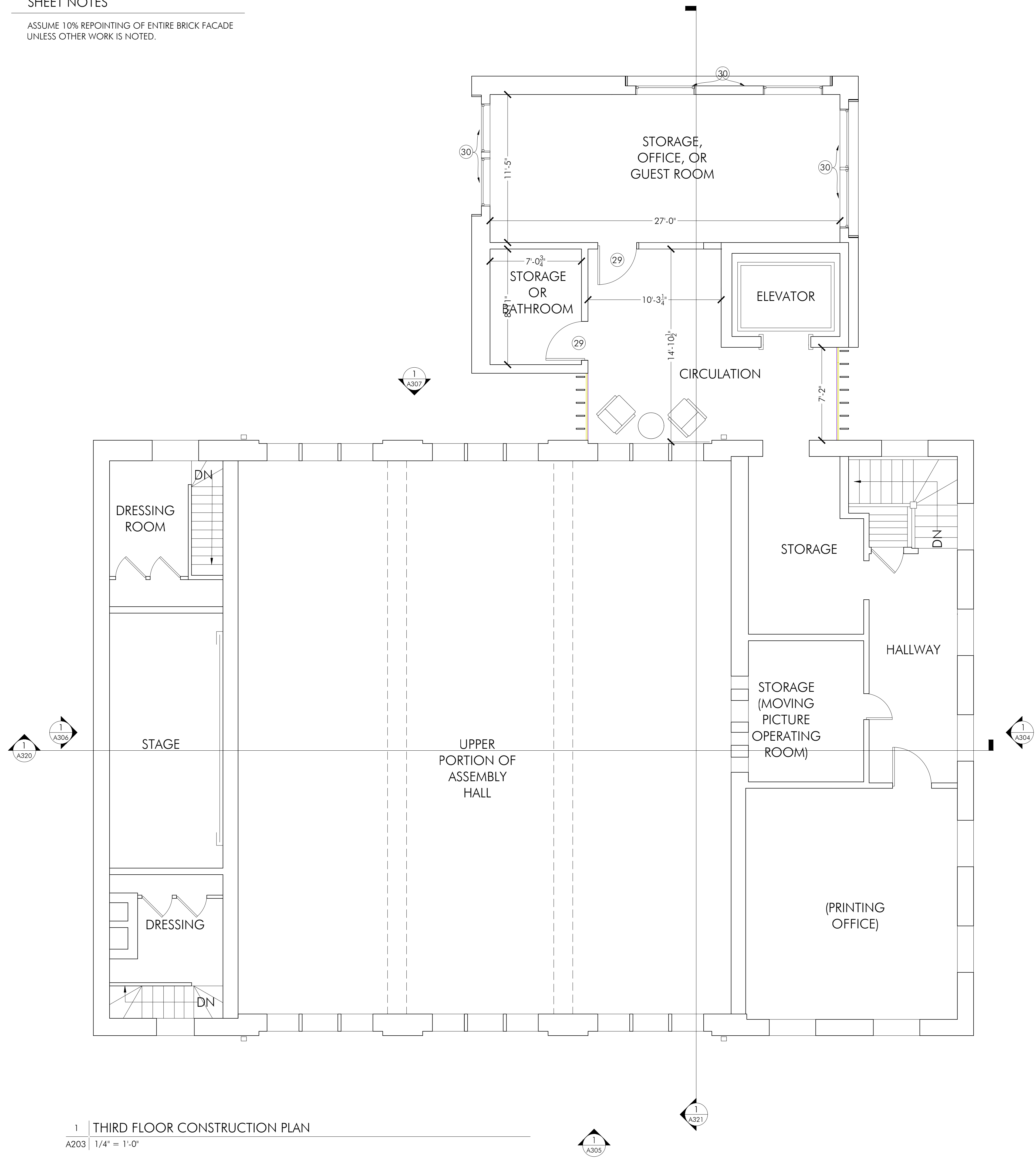
SECOND FLOOR
 CONSTRUCTION
 PLAN

A202

30% REVIEW SET

SHEET NOTES

ASSUME 10% REPOINTING OF ENTIRE BRICK FACADE UNLESS OTHER WORK IS NOTED.

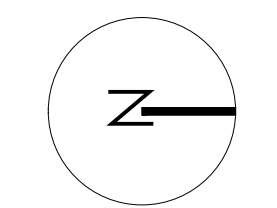


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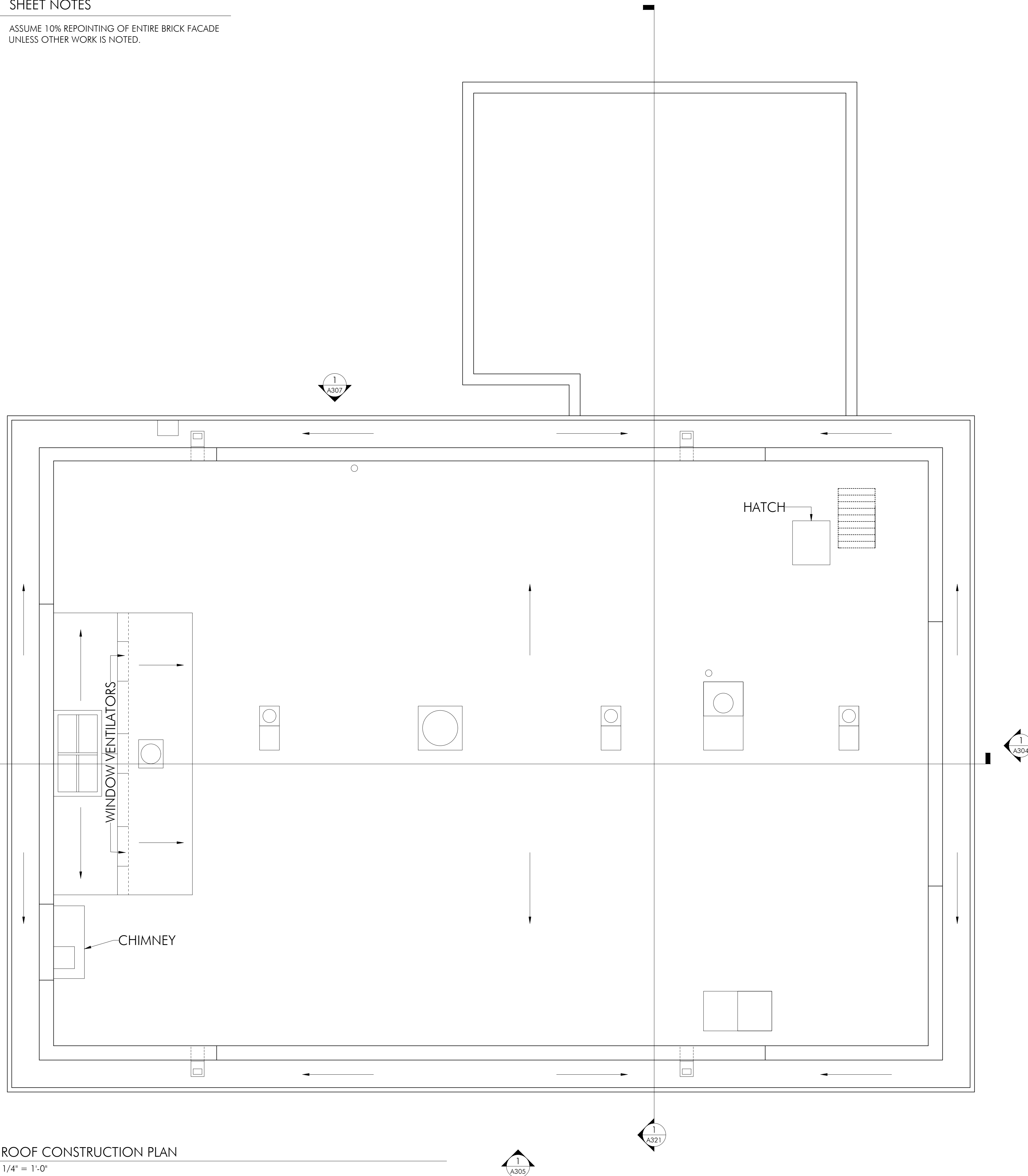
THIRD FLOOR
 CONSTRUCTION
 PLAN

A203

30% REVIEW SET

SHEET NOTES

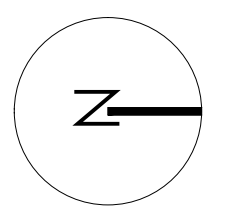
ASSUME 10% REPOINTING OF ENTIRE BRICK FACADE UNLESS OTHER WORK IS NOTED.



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 Todd Grover



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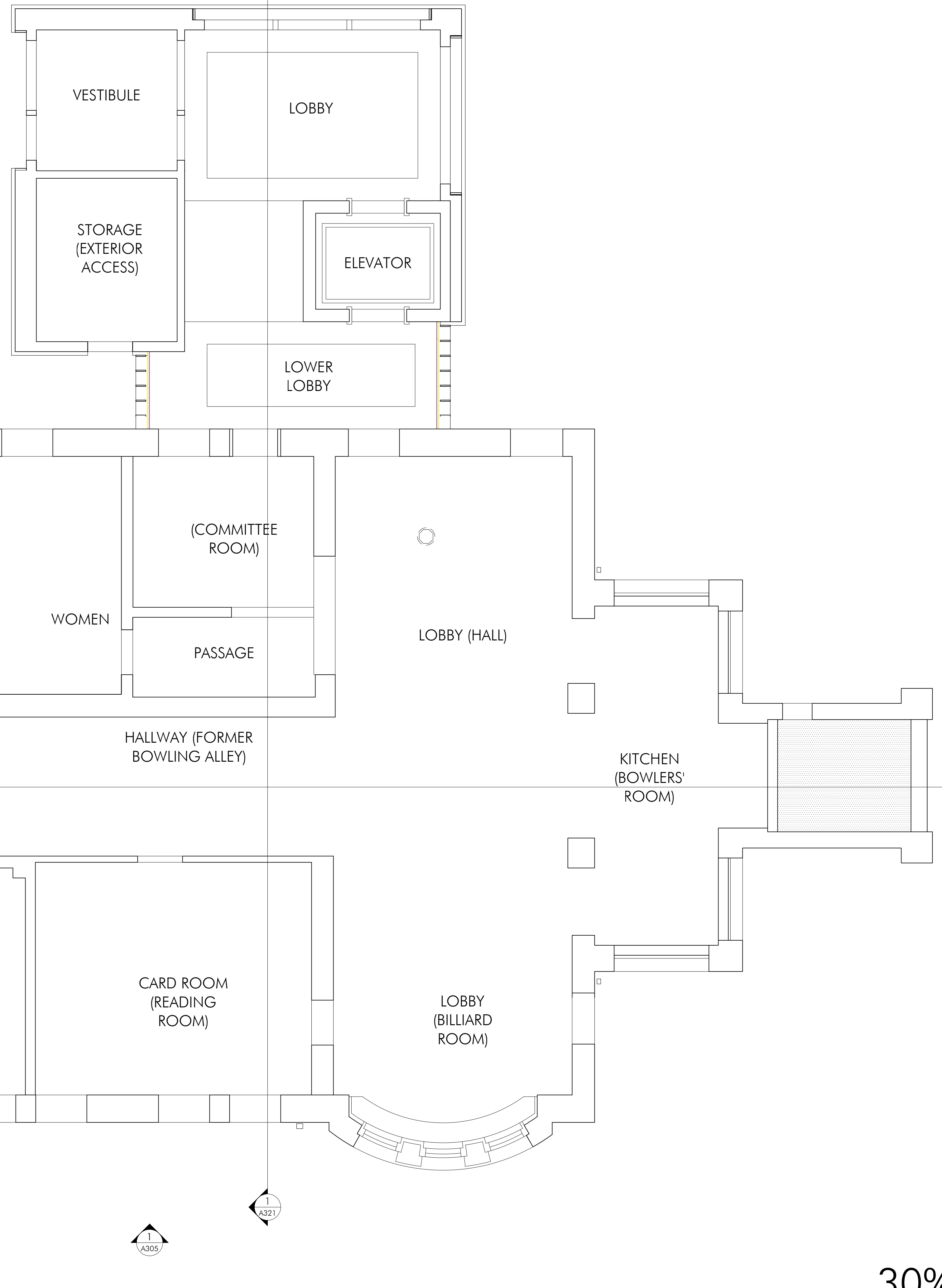
ROOF
 CONSTRUCTION
 PLAN

A204

30% REVIEW SET

SHEET NOTES

ASSUME 10% REPOINTING OF ENTIRE BRICK FACADE UNLESS OTHER WORK IS NOTED.

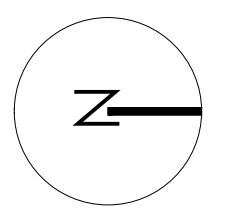


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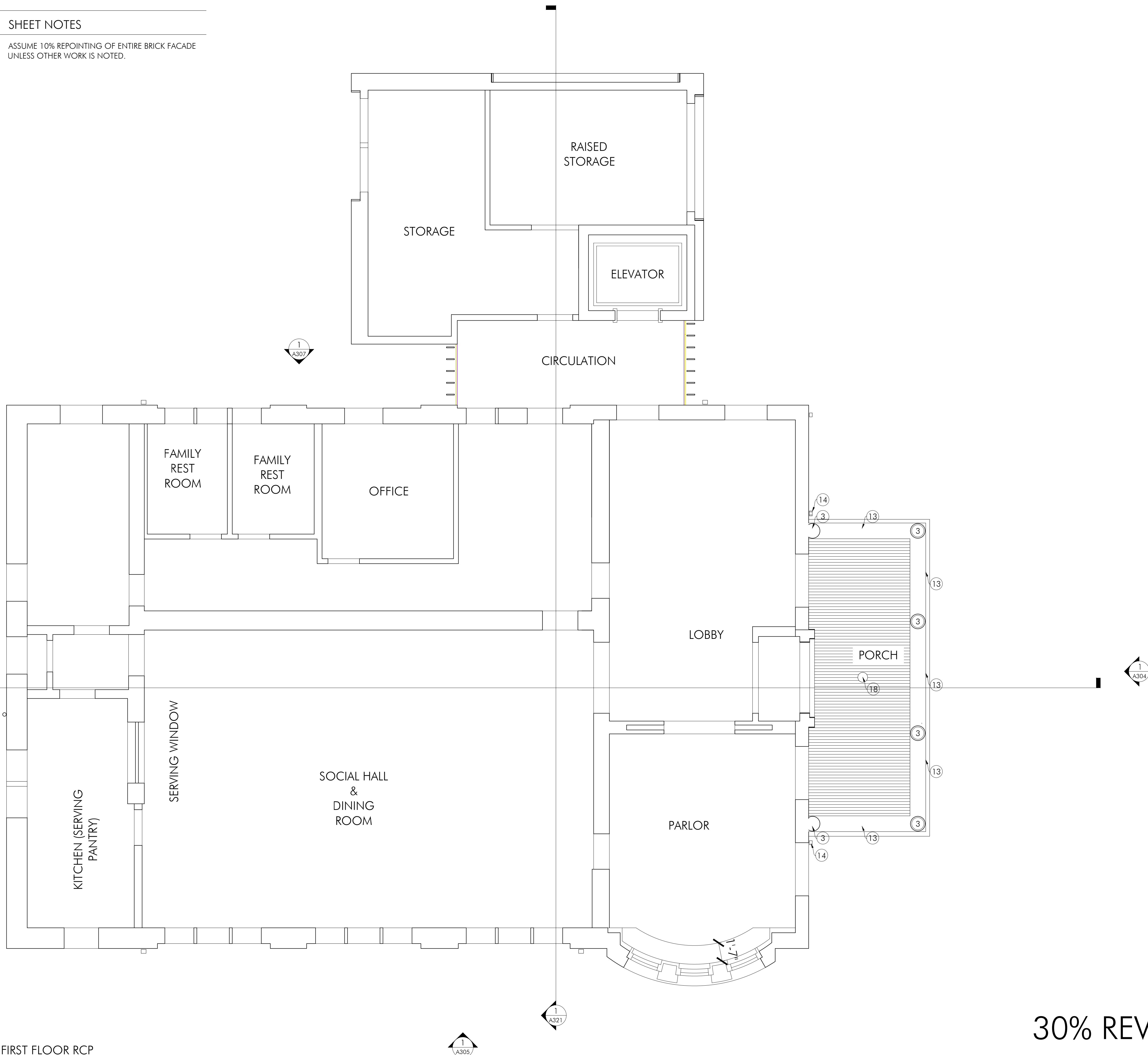
LOWER LEVEL
 RCP

A205

30% REVIEW SET

SHEET NOTES

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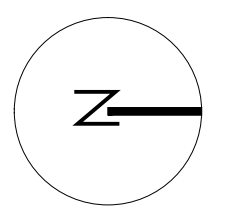


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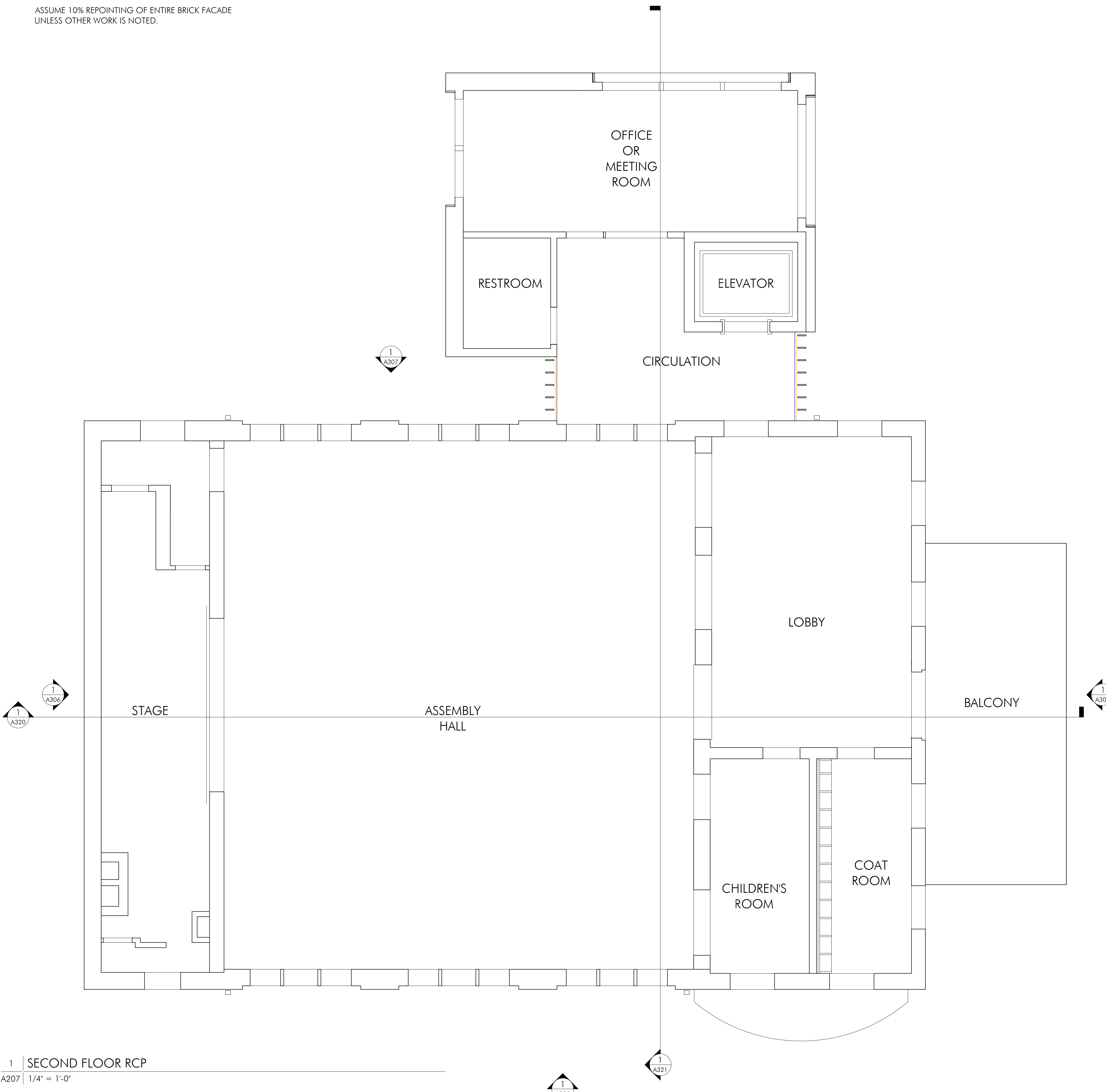
FIRST FLOOR
 RCP

A206

30% REVIEW SET

SHEET NOTES

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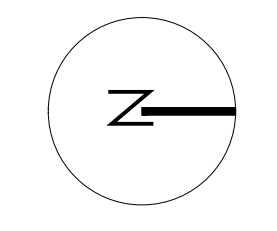
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 Rehabilitation, HVAC Upgrade, and Addition
 1824 Marshall Avenue, Saint Paul, MN 55104

DRAWN SL: TG DATE 07.01.2020 REVISION

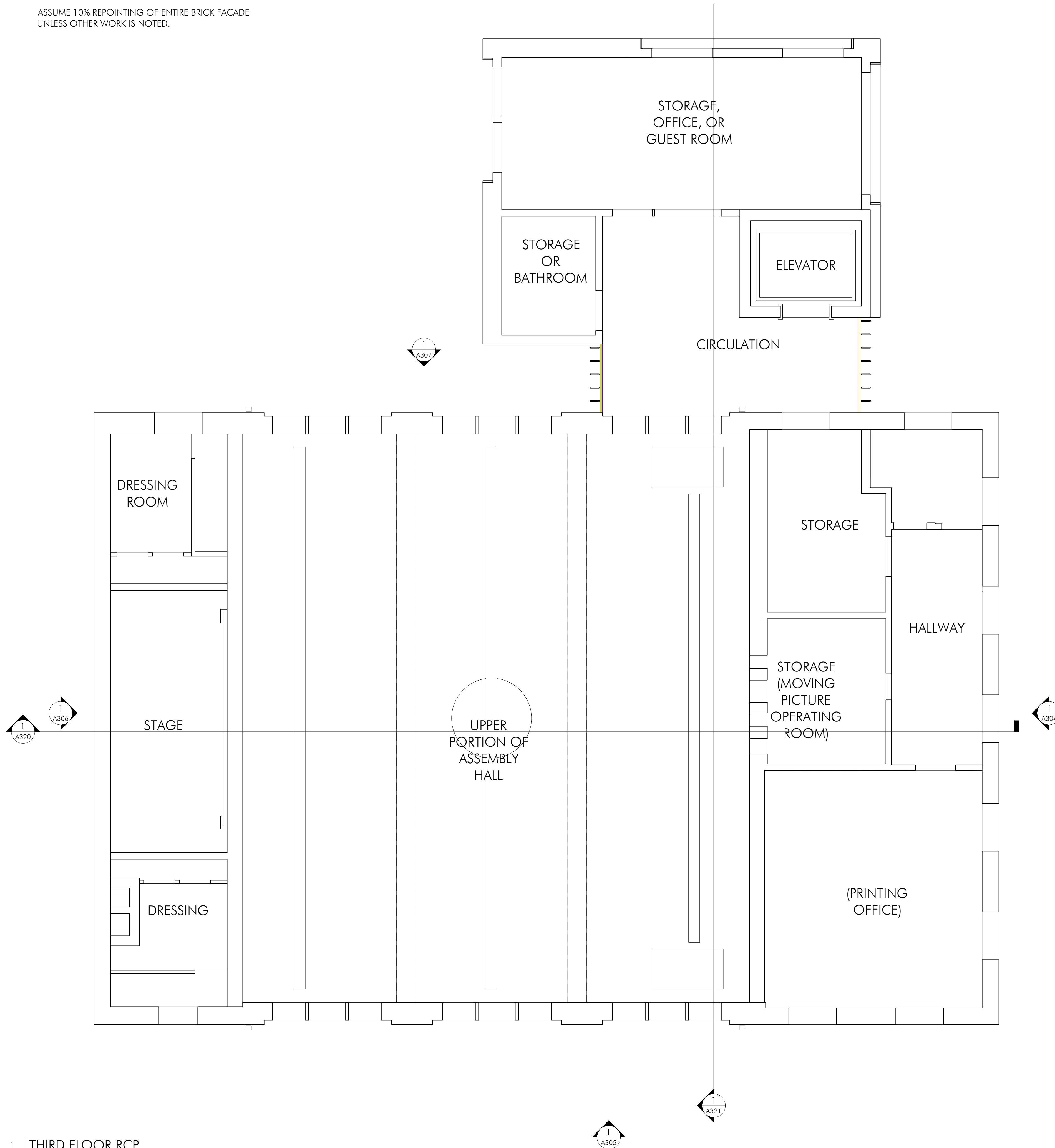
SECOND FLOOR RCP

A207

30% REVIEW SET

SHEET NOTES

ASSUME 10% REPOINTING OF ENTIRE BRICK FACADE UNLESS OTHER WORK IS NOTED.

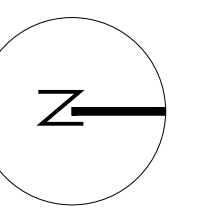


CONSTRUCTION NOTES

- 1 POUR CONCRETE FOOTINGS AND PIER BASE.
- 2 RESET STONE AT PORCH EDGE AND INSTALL REPLACEMENT CAST STONE TO MATCH ORIGINAL.
- 3 INSTALL DORIC COLUMNS AND REINSTALL SALVAGED BASES.
- 4 REBUILD STAIR WALLS USING SALVAGED BRICK AND MATCHING REPLACEMENT BRICK WHERE NECESSARY. INSTALL REPLACEMENT CAST STONE CAPS TO MATCH ORIGINAL.
- 5 REPLACE CAST STONE AT STAIRS AND TOP BAND AT PORCH. PAINT (DO NOT PAINT STEPS).
- 6 REINSTALL STEPS.
- 7 RECONSTRUCT CONCRETE WALK.
- 8 INSTALL FLEXIBLE JOINT.
- 9 CONSTRUCT NEW WALL AND INFILL AREA BENEATH STAIRS. SEE STRUCTURAL.
- 10 INSTALL BALUSTRADE AND GUARDRAILS AT PORCH AND STEPS. INSTALL HANDRAILS AT STEPS.
- 11 INSTALL PANELS AT PORCH OPENINGS.
- 12 REPAIR AND PAINT SALVAGED WOOD FRAME AND INSTALL NEW PANEL IN PLACE OF MESH. REINSTALL.
- 13 REPAIR WOOD ENTABLATURE, INCLUDING CORNICE, INSIDE OF FRIEZE, AND ARCHITRAVE, WITH CONSOLIDANT. PAINT.
- 14 REPAIR AND EXTEND DOWNSPOUTS TO PROVIDE DRAINAGE AWAY FROM THE BUILDING. PAINT EXISTING PIECES THAT ARE REUSED.
- 15 CLEAN CAST STONE AROUND DOOR AND THRESHOLD.
- 16 REPAIR DOORS AND PAINT, INCLUDING WOOD TRIM. SEE DOOR SCHEDULE ON A601 FOR HARDWARE.
- 17 INSTALL PERMANENT DOOR STOP.
- 18 INSTALL LIGHT. SEE SCHEDULE.
- 19 RESTORE AND REINSTALL LAMPS. PAINT METAL AND PROVIDE NEW GLOBES.
- 20 REGRADE DISTURBED AREA AROUND BOTTOM OF STAIRS AND PIERS, REPLACE SOD.
- 21 INFILL OPENINGS WITH CONCRETE MASONRY UNITS.
- 22 WATERPROOF EXTERIOR OF BUILDING BELOW GRADE AND INFILL WHERE CONCRETE WAS REMOVED. SEE STRUCTURAL FOR EXTENT AND FILL REQUIREMENTS. SEE CIVIL FOR REGRADING.
- 23 TOILET FIXTURE. SEE SCHEDULE.
- 24 URINAL. SEE SCHEDULE.
- 25 SINK AND FAUCET. SEE SCHEDULE.
- 26 TOILET ROOM EQUIPMENT. SEE ELEVATIONS AND SCHEDULE.
- 27 TOILET ROOM PARTITIONS AND DOORS.
- 28 CONSTRUCT WALL.
- 29 DOOR. SEE SCHEDULE.
- 30 WINDOW. SEE SCHEDULE.
- 31 REINSTALL SALVAGED QUARRY TILE AND INSTALL NEW TILE WHERE NECESSARY.
- 32 PAINT METAL CORNICE AND PARAPET CAP.
- 33 REPAIR DAMAGE TO CONCRETE FROM PIPES AND CONDUIT. SEAL OPENING IN MASONRY AROUND PIPES.
- 34 PAINT WOOD TRIM AND CORNICE OF BOW WINDOW EXTERIOR.
- 35 PAINT WOOD ON EXTERIOR SIDE OF EXISTING WINDOW/DOOR.
- 36 REPAIR WOOD AT BOTTOM OF CORNICE.
- 37 MODIFY THRESHOLD AND SEAL JOINTS.

MACDONALD & MACK
 ARCHITECTS
 400 SOUTH FOURTH STREET, 713 - MINNEAPOLIS, MINNESOTA 55415
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10/15/2020
 Todd Grover #A0314



Charles Thompson Memorial Hall
 Rehabilitation, HVAC Upgrade, and Addition
 1824 Marshall Avenue, Saint Paul, MN 55104

DRAWN SL: TG DATE 07.01.2020 REVISION

THIRD FLOOR RCP

A208

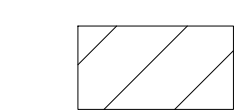

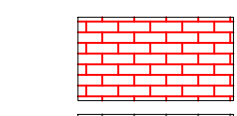
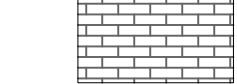
30% REVIEW SET



REMOVAL NOTES

- ① REMOVE AND SALVAGE LIGHT POSTS.
- ② REMOVE PORCH RAILINGS AND STAIR HANDRAILS.
- ③ REMOVE AND SALVAGE STONE STEPS.
- ④ REMOVE QUARRY TILES, SALVAGE WHERE POSSIBLE.
- ⑤ REMOVE MESH SCREEN AND SALVAGE FRAME.
- ⑥ DISMANTLE PIERS, INCLUDING CONCRETE BASES. SALVAGE BRICK.
- ⑦ DISMANTLE STAIR WALLS. SALVAGE BRICK AND DISPOSE OF CAST STONE CAPS. CONCRETE FOUNDATION AND BASE TO REMAIN.
- ⑧ DEMOLISH SIDEWALK (CITY SIDEWALK TO REMAIN).
- ⑨ REMOVE BRICK INFILL IN PORCH OPENINGS AND DEMOLISH CONCRETE INFILL. TAKE CARE NOT TO DAMAGE ORIGINAL SURROUNDING MASONRY AND CONCRETE.
- ⑩ DEMOLISH WALL AND NOTIFY ARCHITECT. ARCHITECT TO INSPECT AREA BENEATH STAIRS BEFORE INFILLED.
- ⑪ INSTALL TEMPORARY SHORING AT PORCH ROOF AND DEMOLISH COLUMNS. SALVAGE CAST STONE BASES FOR REINSTALLATION.
- ⑫ REMOVE CAST STONE AT PORCH EDGE. REMOVE AND SALVAGE STONE BENEATH FOR REINSTALLATION.
- ⑬ SALVAGE DOOR FOR REINSTALLATION.
- ⑭ REMOVE ALL EXISTING TOILET ROOM PARTITIONS AND STALL DOORS.
- ⑮ REMOVE TOILET ROOM FIXTURES.
- ⑯ REMOVE WALLS AND CONCRETE AT GRADE. SEE STRUCTURAL DRAWINGS FOR EXTENT BELOW GRADE.
- ⑰ REMOVE METAL BARS FROM WINDOWS.
- ⑱ REMOVE WINDOW INFILL PANELS.
- ⑲ SALVAGE WINDOW GLAZING AND FRAME, RETURN TO OWNER. SELECTIVELY REMOVE PORTION OF EXTERIOR WALL NECESSARY TO RECEIVE DOOR.
- ⑳ REMOVE WALL.
- ㉑ REMOVE DOOR.
- ㉒ REMOVE RADIATOR.
- ㉓ REMOVE KITCHEN APPLIANCES AND SINK.
- ㉔ REMOVE COUNTERTOPS.
- ㉕ REMOVE CEILING TILES.
- ㉖ REMOVE LIGHT FIXTURE.
- ㉗ DEMOLISH GARAGE.

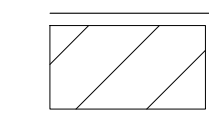

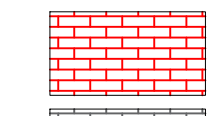
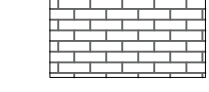
REMOVAL KEY

-  DEMOLISH MASONRY, SALVAGE AS NOTED
-  REMOVE/DISMANTLE
-  DEMOLISH MASONRY, SALVAGE AS NOTED
-  BRICK MASONRY TO REMAIN (10% REPOINTING, TYPICAL)

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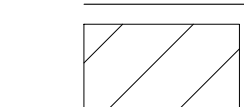

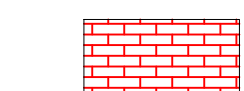
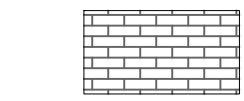


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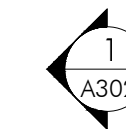
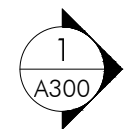
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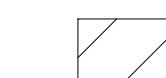

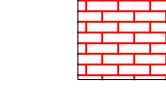
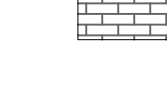




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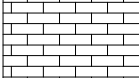
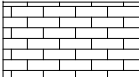
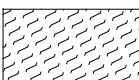

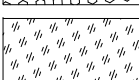
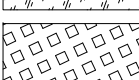


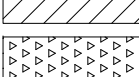
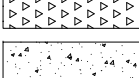


REMOVAL KEY

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-  REMOVE/DISMANTLE
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SHEET NOTES

ASSUME 10% REPOINTING OF ENTIRE BRICK FACADE UNLESS OTHER WORK IS NOTED.

CONSTRUCTION KEY

-  NEW BRICK MASONRY
-  RECONSTRUCT BRICK MASONRY
-  25% REPOINT
-  50% REPOINT
-  100% REPOINT
-  CLEAN BRICK MASONRY
-  CLEAN STONE/CAST STONE, REPOINT/SEAL JOINTS
-  REPAIR CHIPPED CAST STONE
-  REPOINT/SEAL JOINTS AT CAST STONE
-  CONCRETE
-  REPLACE HISTORIC CAST STONE
-  REPAIR CRACK/HOLE IN CONCRETE/MASONRY

CONSTRUCTION NOTES

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- 2 RESET STONE AT PORCH EDGE AND INSTALL REPLACEMENT CAST STONE TO MATCH ORIGINAL.
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THIRD FLOOR

Elevation: 0'-0"

SECOND FLOOR

Elevation: 0'-0"

FIRST FLOOR

Elevation: 0'-0"

BASEMENT FLOOR

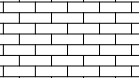
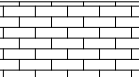
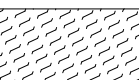

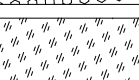



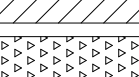
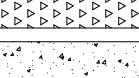


Elevation: 0'-0"

30% REVIEW SET

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-  REPOINT/SEAL JOINTS AT CAST STONE
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-  REPLACE HISTORIC CAST STONE
-  REPAIR CRACK/HOLE IN CONCRETE/MASONRY

CONSTRUCTION NOTES

- 1 POUR CONCRETE FOOTINGS AND PIER BASE.
- 2 RESET STONE AT PORCH EDGE AND INSTALL REPLACEMENT CAST STONE TO MATCH ORIGINAL.
- 3 INSTALL DORIC COLUMNS AND REINSTALL SALVAGED BASES.
- 4 REBUILD STAIR WALLS USING SALVAGED BRICK AND MATCHING REPLACEMENT BRICK WHERE NECESSARY. INSTALL REPLACEMENT CAST STONE CAPS TO MATCH ORIGINAL.
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- 15 CLEAN CAST STONE AROUND DOOR AND THRESHOLD.
- 16 REPAIR DOORS AND PAINT, INCLUDING WOOD TRIM. SEE DOOR SCHEDULE ON A601 FOR HARDWARE.
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MACDONALD & MACK
ARCHITECTS

400 SOUTH FOURTH STREET STE 712 MINNEAPOLIS, MINNESOTA 55415
P 612 341 4001 F 612 337 8843 WWW.MACMACK.COM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of Minnesota.
Todd Grover #40314

THIRD FLOOR

Elevation: 0'-0"

SECOND FLOOR

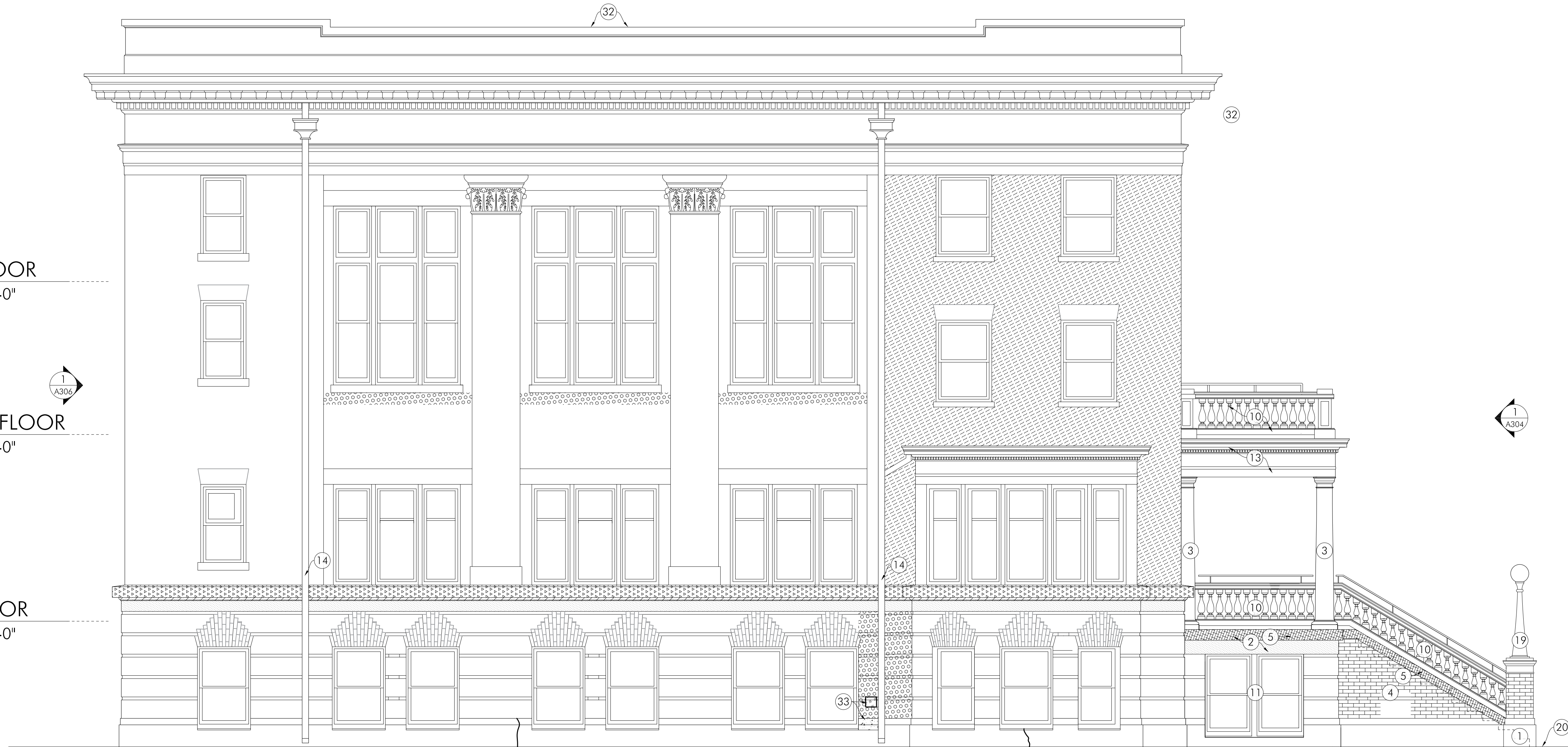
Elevation: 0'-0"

FIRST FLOOR

Elevation: 0'-0"

BASEMENT FLOOR

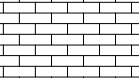
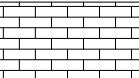
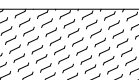

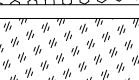



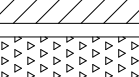
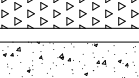


Elevation: 0'-0"



SHEET NOTES

ASSUME 10% REPOINTING OF ENTIRE BRICK FACADE UNLESS OTHER WORK IS NOTED.

CONSTRUCTION KEY

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-  50% REPOINT
-  100% REPOINT
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Elevation: 0'-0"

SECOND FLOOR

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FIRST FLOOR

Elevation: 0'-0"

BASEMENT FLOOR

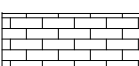







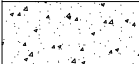



Elevation: 0'-0"



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SECOND FLOOR

Elevation: 0'-0"

FIRST FLOOR

Elevation: 0'-0"

BASEMENT FLOOR

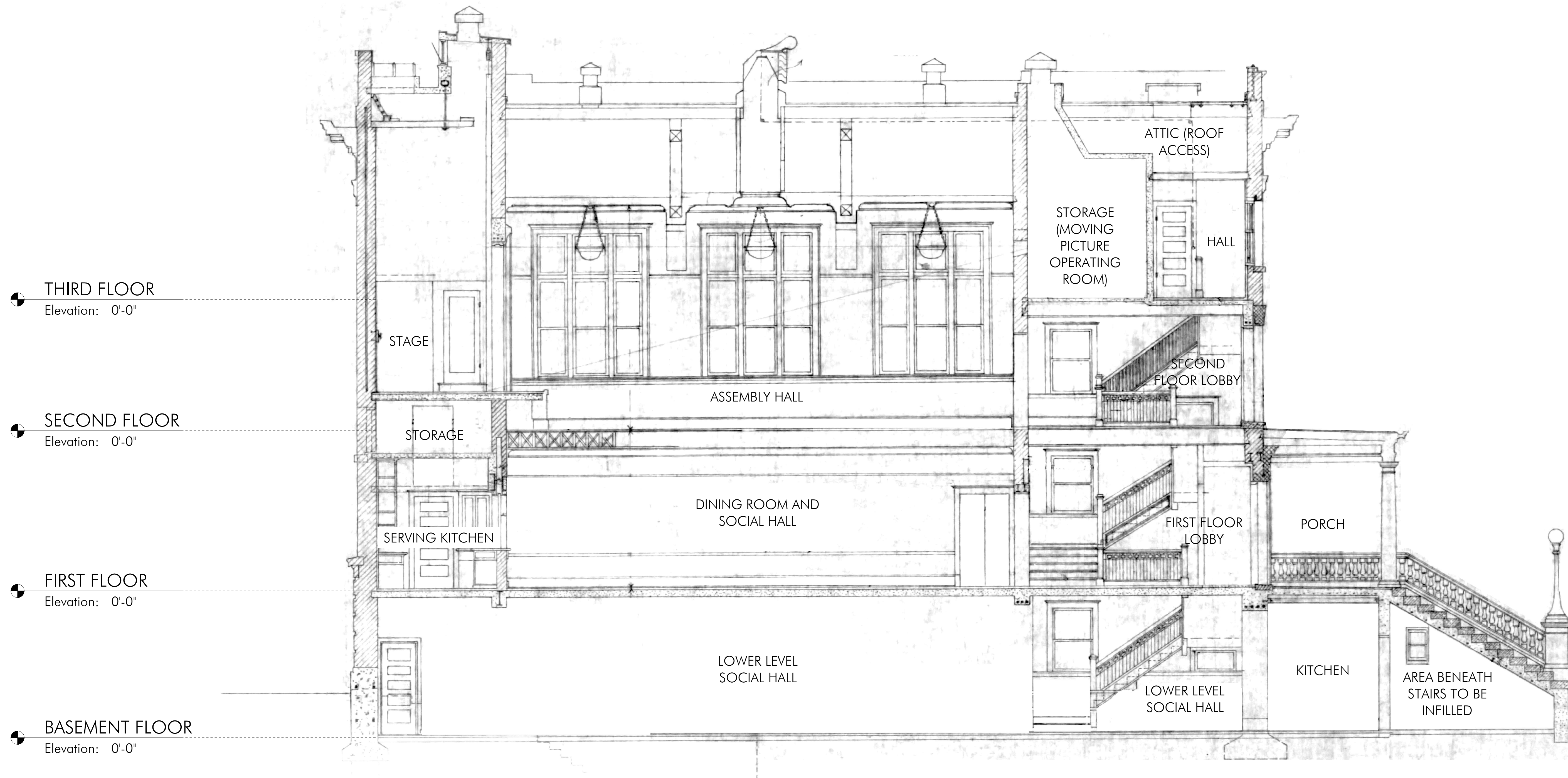
Elevation: 0'-0"



30% REVIEW SET

SHEET NOTES

Start notes here



Charles Thompson Memorial Hall
 Rehabilitation, HVAC Upgrade, and Addition
 1824 Marshall Avenue, Saint Paul, MN 55104

BUILDING SECTIONS

A320

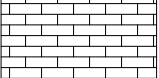
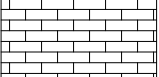
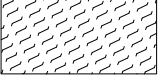

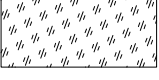

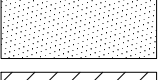
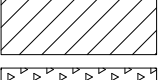
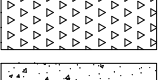



30% REVIEW SET

DRAWN SL:IG DATE
 REVISION

SHEET NOTES

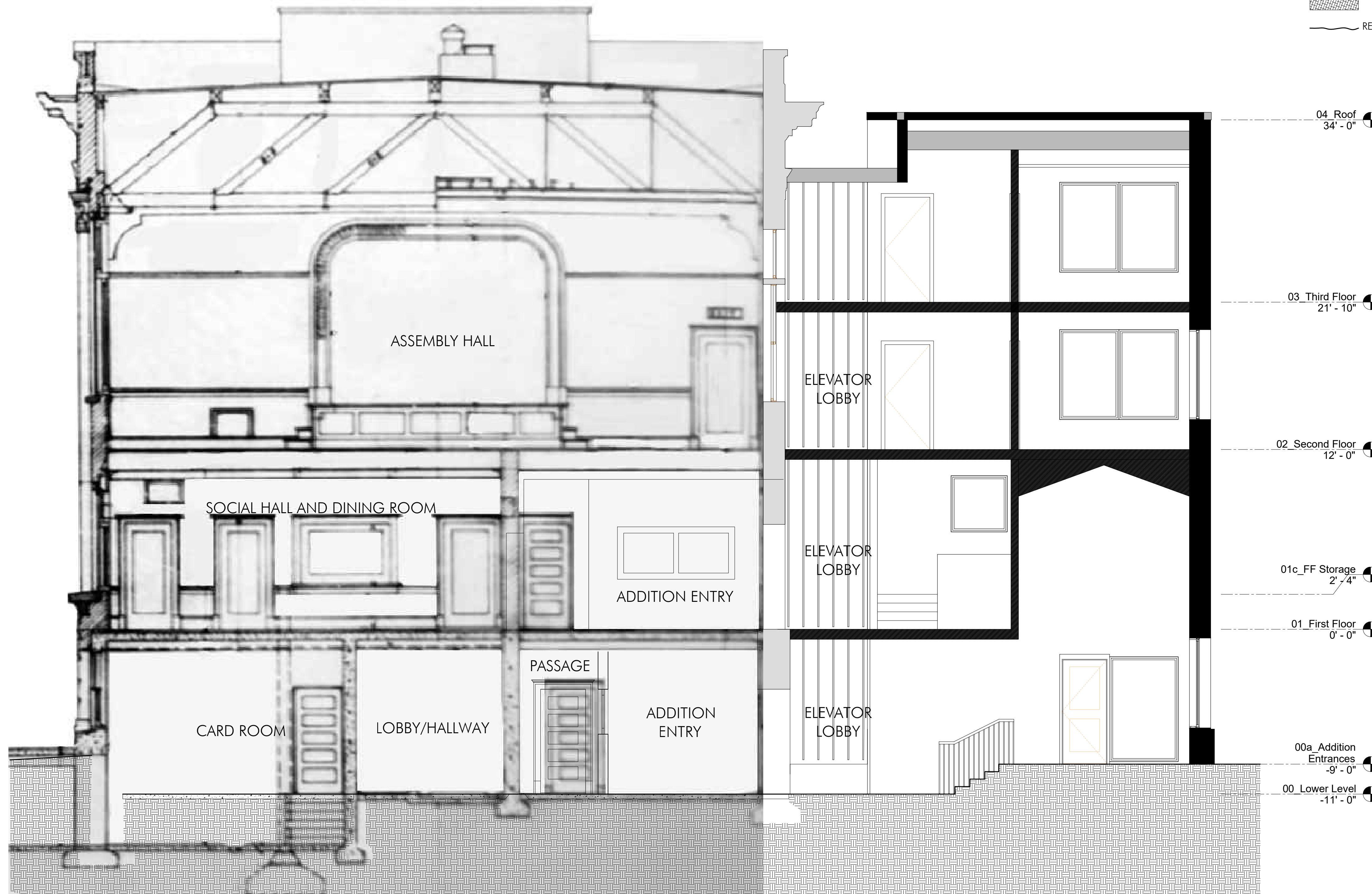
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LOWER LEVEL RESTROOM ELEVATIONS -
TO BE INCLUDED IN 60% SUBMISSION

FIRST FLOOR RESTROOM ELEVATIONS -
TO BE INCLUDED IN 60% SUBMISSION

INTERIOR
ELEVATIONS

A400

Charles Thompson Memorial Hall
Rehabilitation, HVAC Upgrade, and Addition

1824 Marshall Avenue, Saint Paul, MN 55104

DRAWN SLT,IG DATE REVISION

MACDONALD & MACK
ARCHITECTS
400 SOUTH FOURTH STREET STE 712 MINNEAPOLIS MINNESOTA 55415
612 341 4001 • 612 337 8843 • WWW.MACINTD.COM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of Minnesota.
Todd Grover #40314



ADDITION - LOWER LEVEL ELEVATIONS -
TO BE INCLUDED IN 60% SUBMISSION

SHEET NOTES

Start notes here



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DRAWN SLTIG DATE REVISION

INTERIOR
ELEVATIONS

30% REVIEW SET

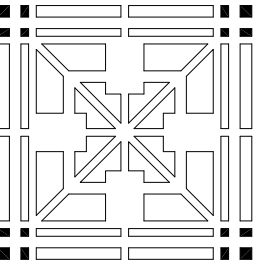
A401



ADDITION - FIRST FLOOR ELEVATIONS -
TO BE INCLUDED IN 60% SUBMISSION

SHEET NOTES

Start notes here



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DRAWN SLTIG DATE REVISION

INTERIOR
ELEVATIONS

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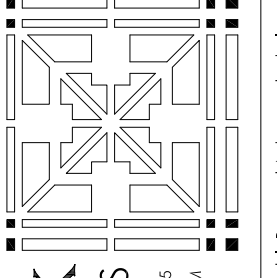
A402



ADDITION - SECOND FLOOR ELEVATIONS -
ADDITION - THIRD FLOOR ELEVATIONS -
TO BE INCLUDED IN 60% SUBMISSION

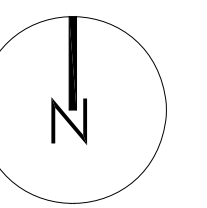
SHEET NOTES

Start notes here



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DRAWN SL, TG DATE REVISION

INTERIOR
ELEVATIONS

30% REVIEW SET

A403



EXTERIOR PORCH STAIRS ELEVATIONS -
TO BE INCLUDED IN 60% SUBMISSION

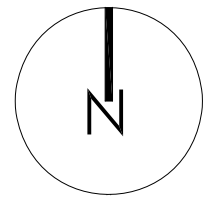
SHEET NOTES

Start notes here



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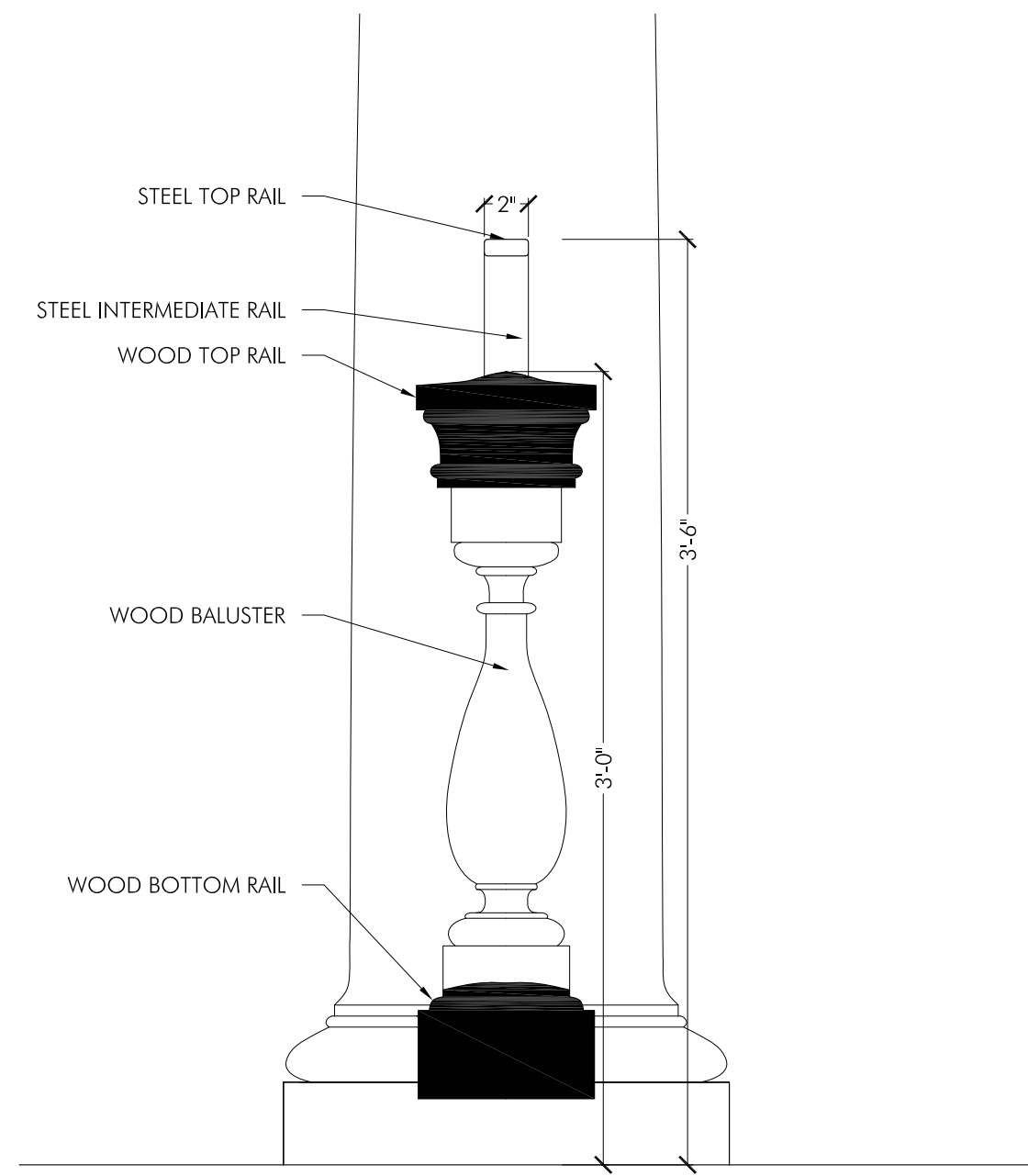
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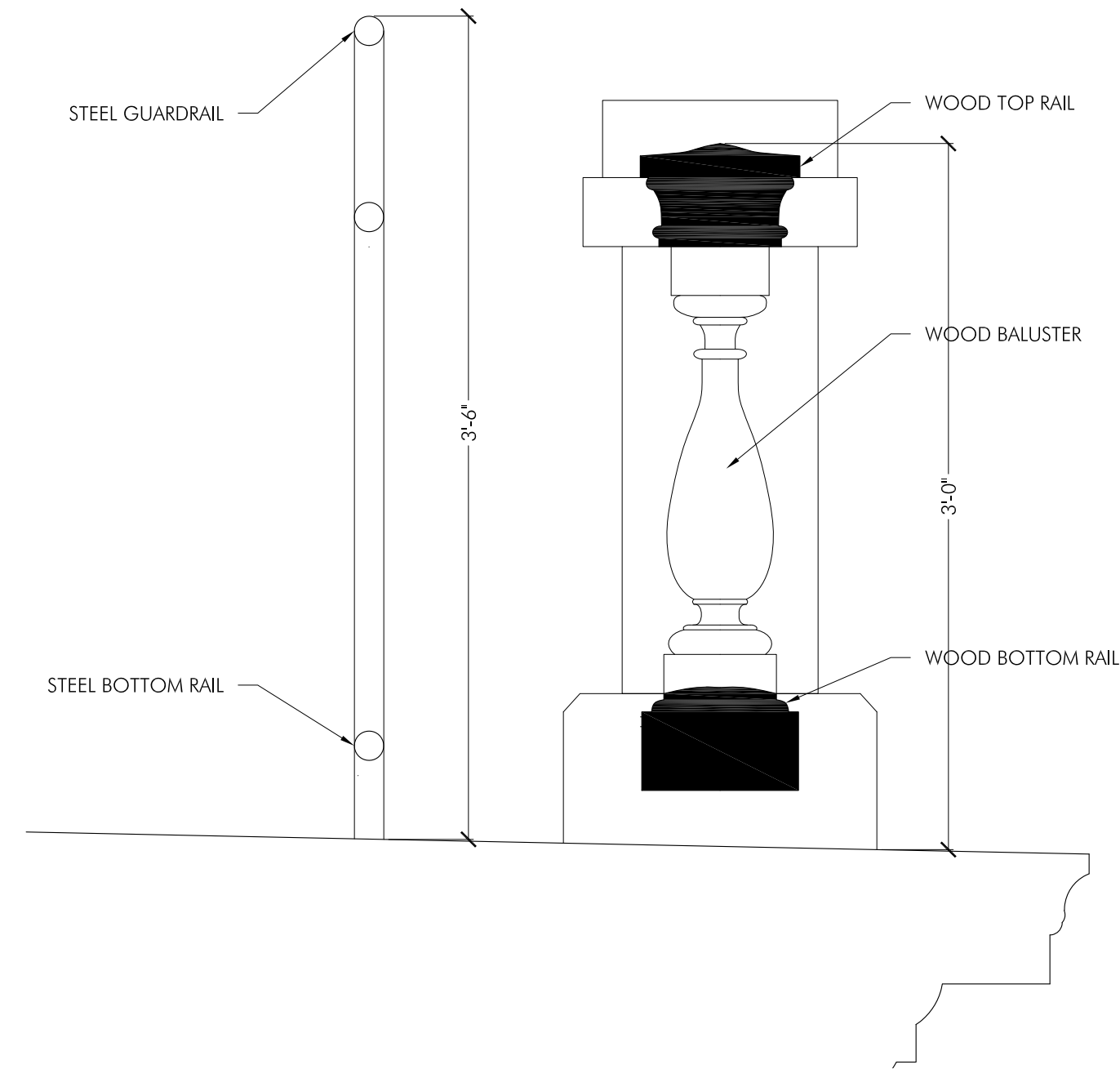
ENLARGED
EXTERIOR
ELEVATIONS

A404

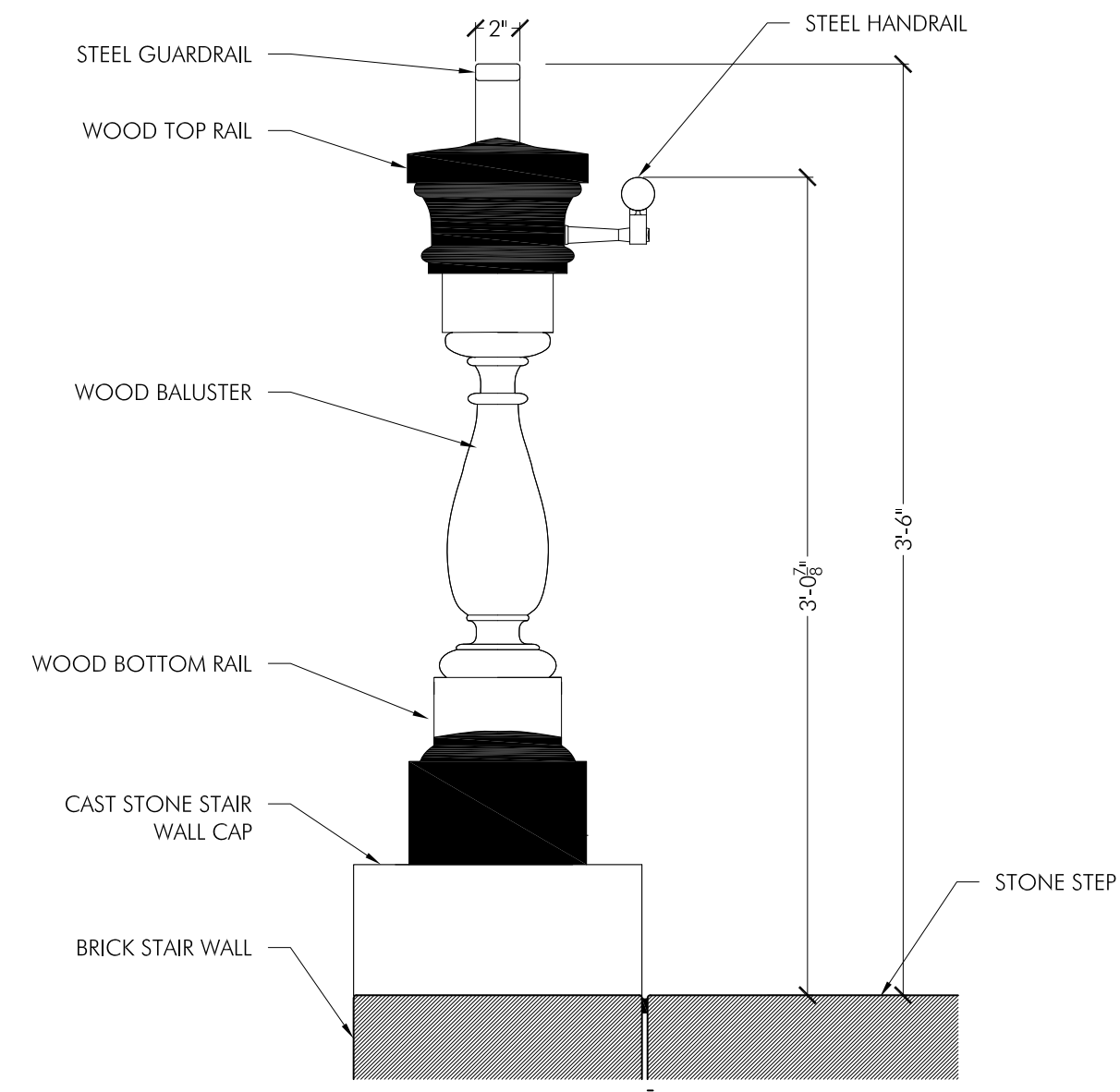
30% REVIEW SET



1 | BALUSTER/GUARDRAIL AT PORCH
A503 | 1-1/2" = 1'-0"



2 | HANDRAIL SECTION AT BALCONY BALUSTRADE
A503 | 1-1/2" = 1'-0"



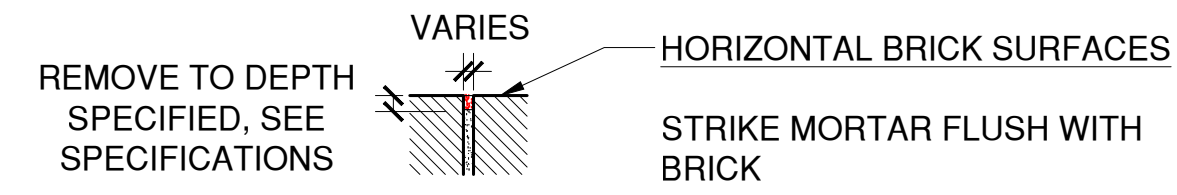
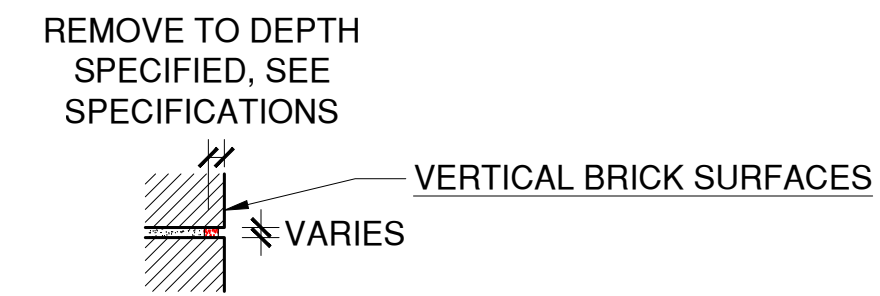
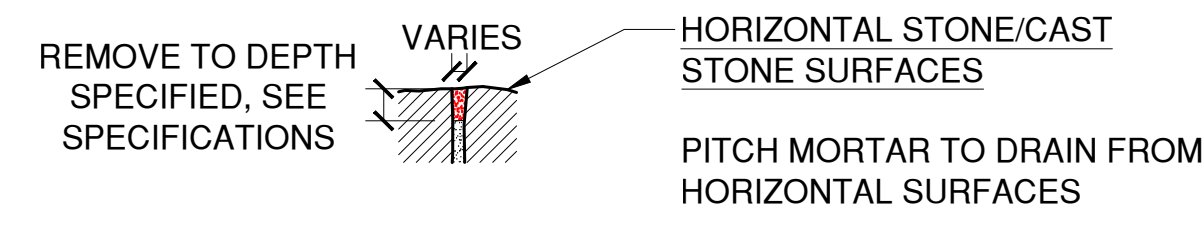
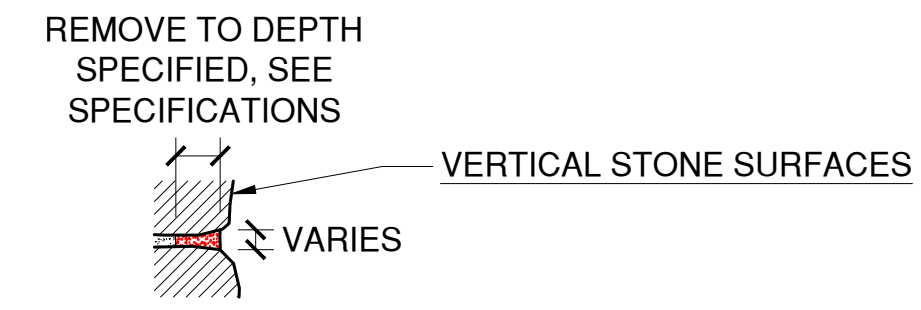
3 | HANDRAIL SECTION AT STAIR
A503 | 1-1/2" = 1'-0"

SHEET NOTES

Start notes here

MORTAR REPOINTING NOTES (ALL JOINTS)

1. MORTAR TO MATCH EXISTING IN TYPE, COLOR, TEXTURE, COMPOSITION, DIMENSION, AND PROFILE.
2. PROVIDE BRUSH FINISH TO SLIGHTLY EXPOSE MORTAR AGGREGATES.
3. SEE SPECIFICATIONS FOR HISTORIC MASON QUALIFICATIONS, MORTAR TESTING REQUIREMENTS, AND ADDITIONAL REPOINTING INFORMATION.



1 | REPOINTING DETAILS
A504 | 1" = 1'-0"

2 | STAIR WALL RECONSTRUCTION
A504 | 1" = 1'-0"

Charles Thompson Memorial Hall Specifications

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09/08/20

**CHARLES THOMPSON MEMORIAL HALL
MEP SCHEMATIC DESIGN NARRATIVE**

MECHANICAL

Replace Existing Boilers

Replace the four existing modular boilers with new high-efficiency boilers of approximately 300 MBH capacity each. The new boilers will be Lochinvar Knight XL, or approved equal, with up to 96% efficiency rating.

Associated work to be completed in the Boiler Room includes:

- Replace hot water supply and return headers.
- Replace two existing zone heating pumps and add third pump for new addition.
- Install new air separator in hot water heating system.
- Install new side-stream filter and chemical feed in hot water heating system.
- Install new combustion air intakes and flues.
- Remove existing combustion air intake and breaching.

Insulate Existing Heating Piping in Boiler Room

Insulate all existing uninsulated hot water piping in the Boiler Room with fiberglass pipe insulation with all-purpose jacket, Knauf, or equal. Insulation thickness shall be in accordance with MN Energy Code.

Replace Existing HVAC Units for Assembly Hall, Dining Room and Basement

The existing split systems in the Assembly Hall, Dining Hall and Basement shall be replaced with new units. New rooftop units shall be installed for the Assembly Hall, and new split systems shall be installed for the Dining Room and Basement. Units shall be high efficiency, Carrier, Trane, or equal.

Existing Building Remodeling

Additional mechanical work in the existing building will include:

- Modify the existing heating systems as required for the areas of the building being remodeled. Provide new toilet exhaust systems for the toilet rooms.
- Provide air conditioning for the new office.

Building Addition

Complete HVAC systems shall be provided for the new building addition. These systems will include:

- A third hot water heating zone fed from the new boilers in the existing Boiler Room. Fintube radiation shall be provided along the exterior walls and windows, and a cabinet unit heater shall be provided at the new entrance.
- Air conditioning for the addition, with a new rooftop unit, ducted down for supply and return at the various floor levels.
- Ventilation for the new electrical room.

PLUMBING

Replace Existing Water Service

Replace existing water service with a new 6" water service to building. The new service will be utilized for a new sprinkler system in the building, as well as domestic water services.

It is anticipated at this time that the new water service will enter the building into the existing Boiler Room.

Remodel/New Toilet Rooms

The existing toilet rooms in the basement shall be remodeled with new plumbing fixtures and piping, based on new toilet room layout determined by Architect. It is anticipated that all existing plumbing fixtures will be replaced, as well as all existing water, waste and vent piping within the existing toilet rooms.

New plumbing systems shall be provided for the new toilet rooms on the First Floor.

FIRE PROTECTION

New Sprinkler System

A complete, new fire protection system shall be installed throughout the existing building and new addition. Piping layout shall be carefully designed, in conjunction with the fire protection subcontractor, in order to maintain the architectural character of the building.

ELECTRICAL

New Electrical Service

Replace existing electrical service with a new 3 phase service. It is anticipated at this time that the new electrical service will be 120/208 volt, 3 phase, 4 wire, 600 amps.

The new electrical service shall be brought into the new addition, and a new distribution panelboard installed. The existing building electrical system shall be back-fed from the new service. New electrical equipment shall be Square D, or equal.

Existing Building Remodeling

Electrical work within the existing building shall include:

- Re-feed new mechanical equipment.
- Lighting and power for remodeled toilet rooms in Basement.
- Lighting and power for new toilet rooms and office on First Floor.
- Lighting upgrades in Assembly Hall.

Building Addition

A complete electrical system shall be provided for the new building addition, including:

- Elevator power.
- Power for new mechanical equipment.
- Lighting and miscellaneous power.

FIRE ALARM SYSTEM

The existing fire alarm system shall be upgraded to current life safety code requirements, including incorporation of the new elevator.

END OF SCHEMATIC DESIGN NARRATIVE